

# TOWN OF CHAPEL HILL

COMMUNITY DESIGN COMMISSION



April 25, 2017 - Ephesus / Fordham Certificate of Appropriateness

Design Alternatives and Architecture Presentation

## HILLSTONE CHAPEL HILL

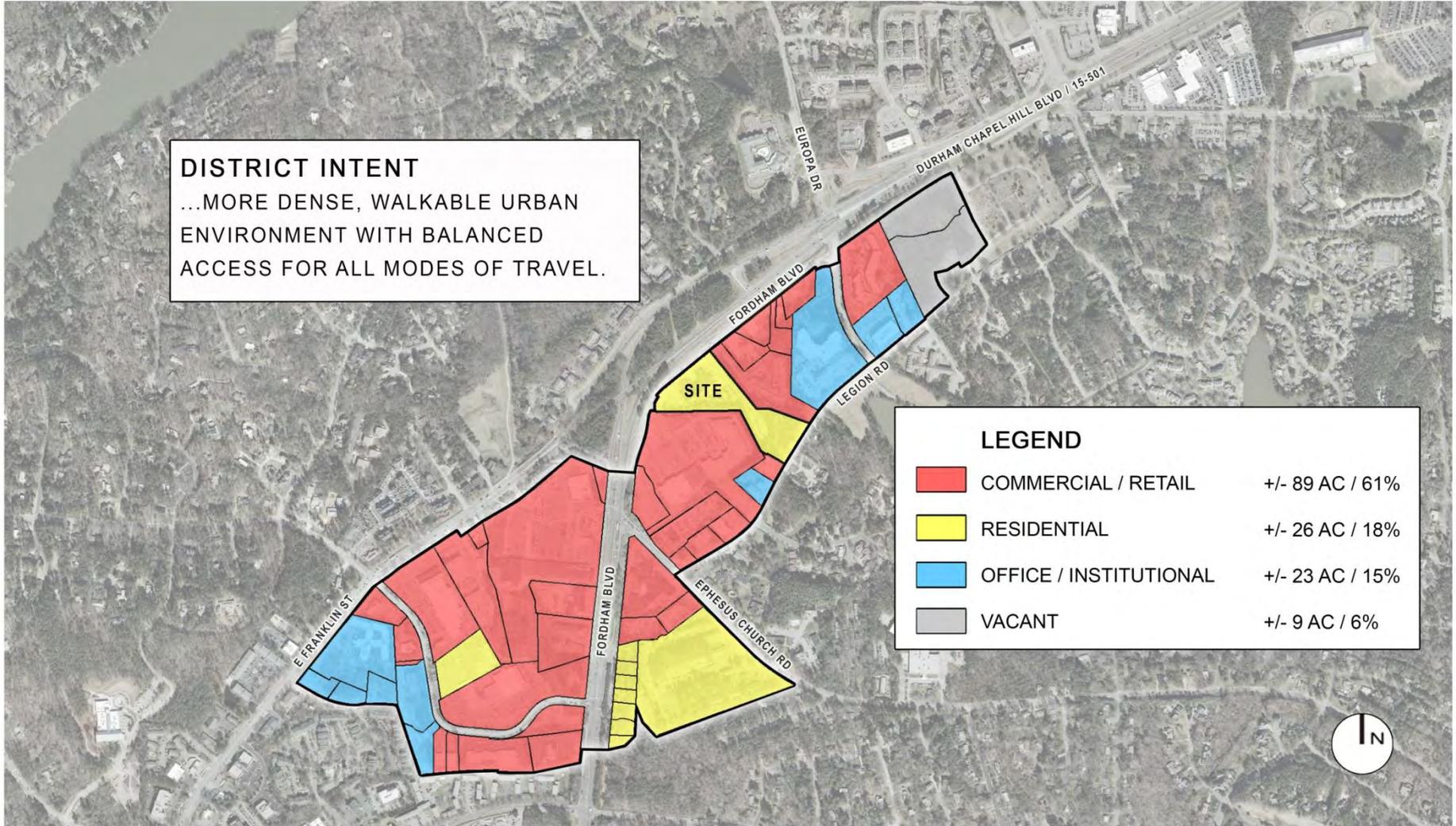
1730 FORDHAM BLVD, CHAPEL HILL, NORTH CAROLINA

**JDAVIS** >

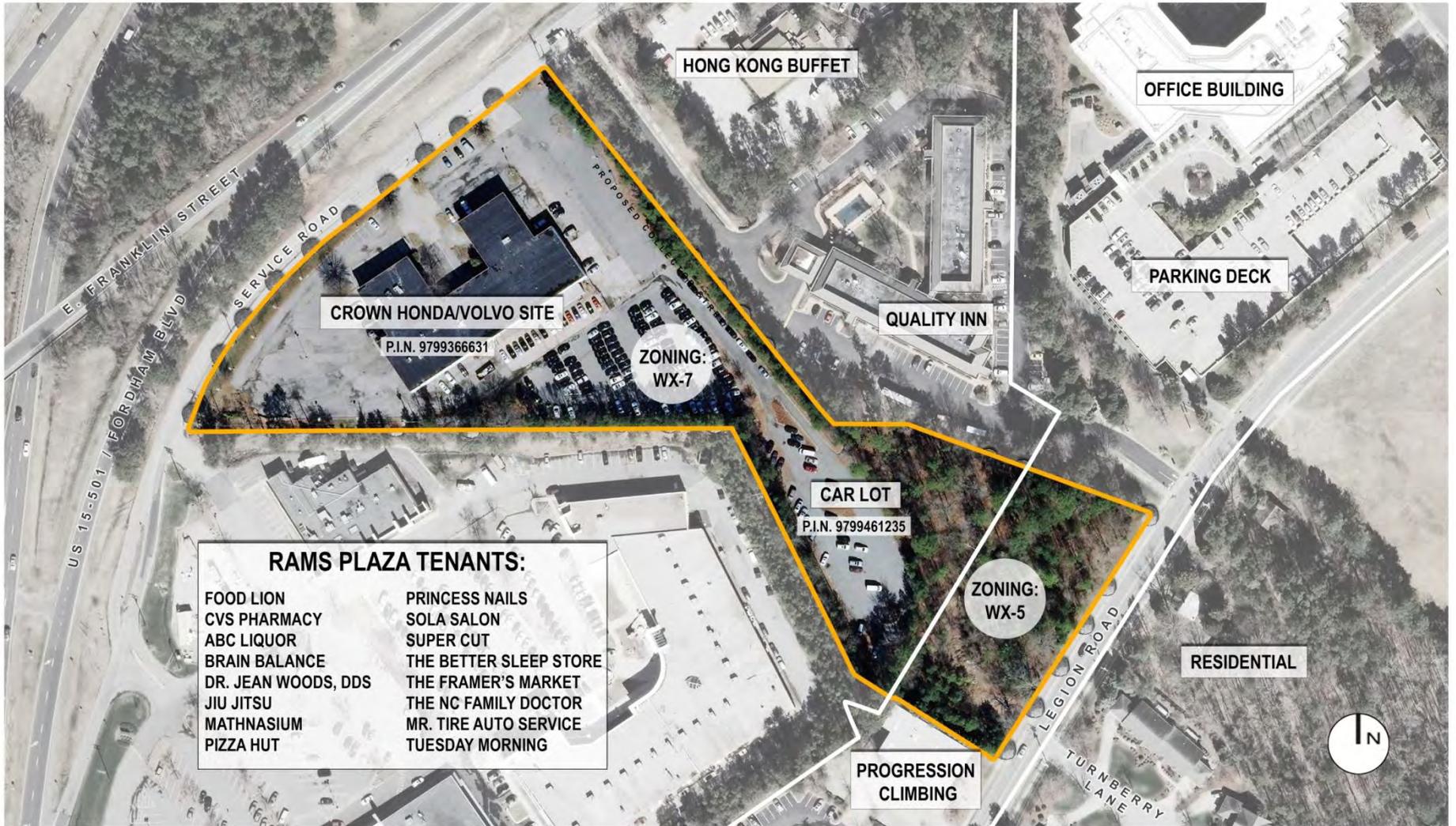
Architect / Land Planner / Landscape Architect

- Jeff Davis, AIA

- Paul Meder, PLA

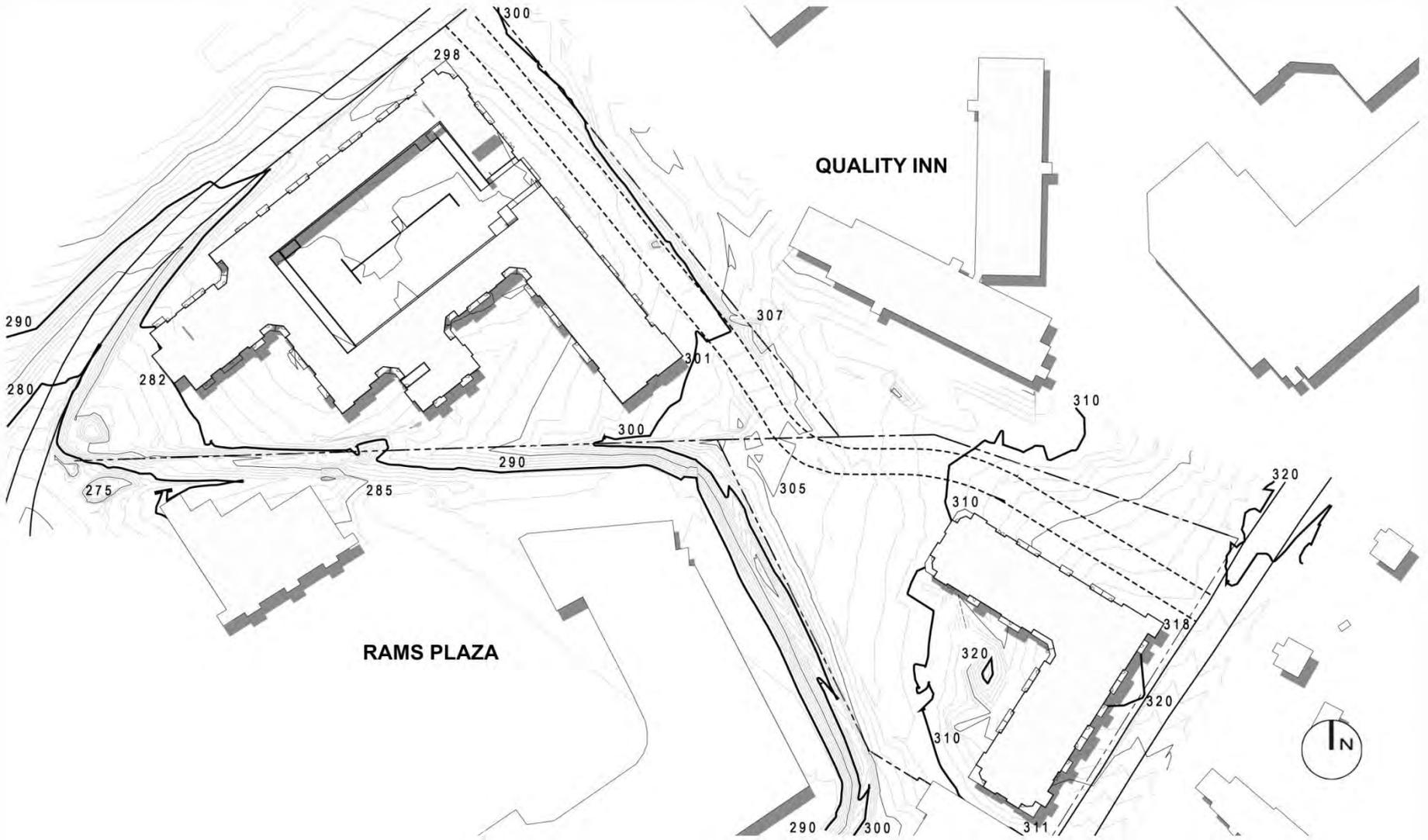


**EPHESUS / FORDHAM FORM DISTRICT: EXISTING LAND USE**



# EXISTING CONDITIONS

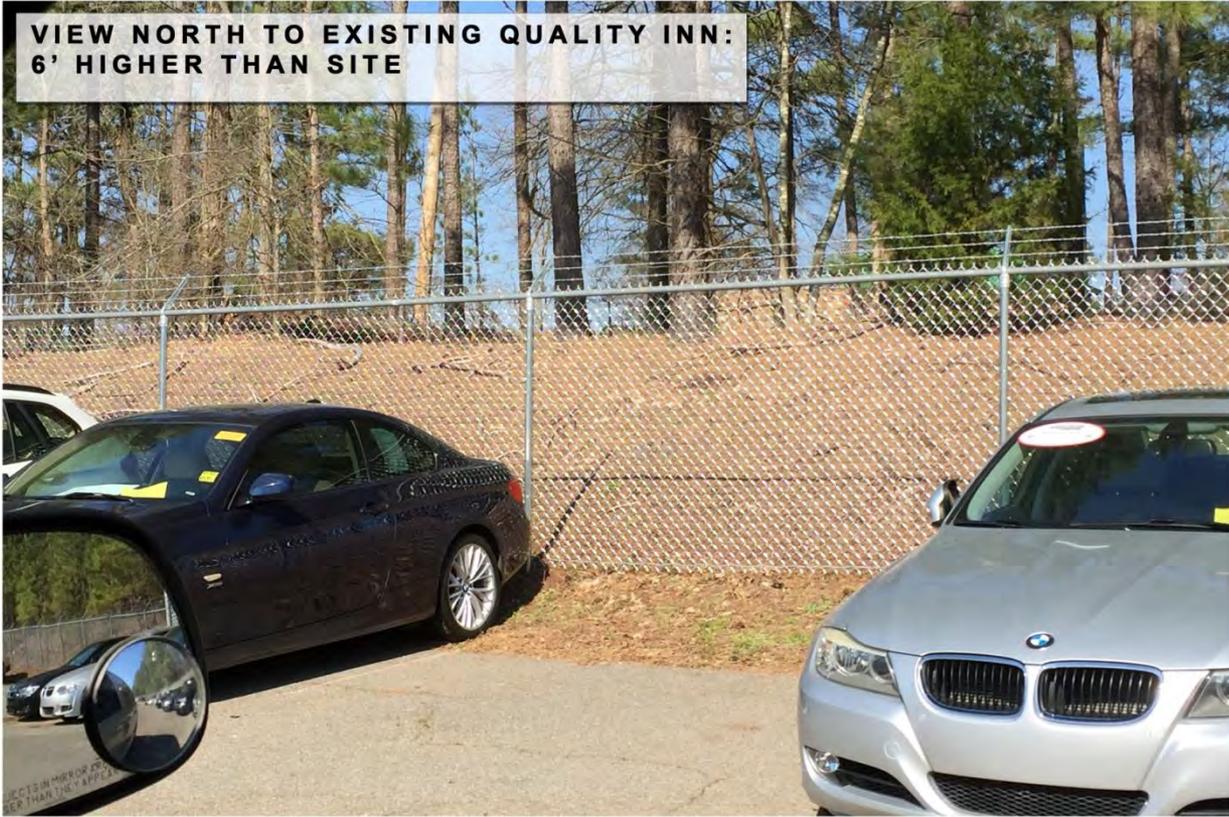
NTS



**EXISTING TOPOGRAPHY**

**NTS**

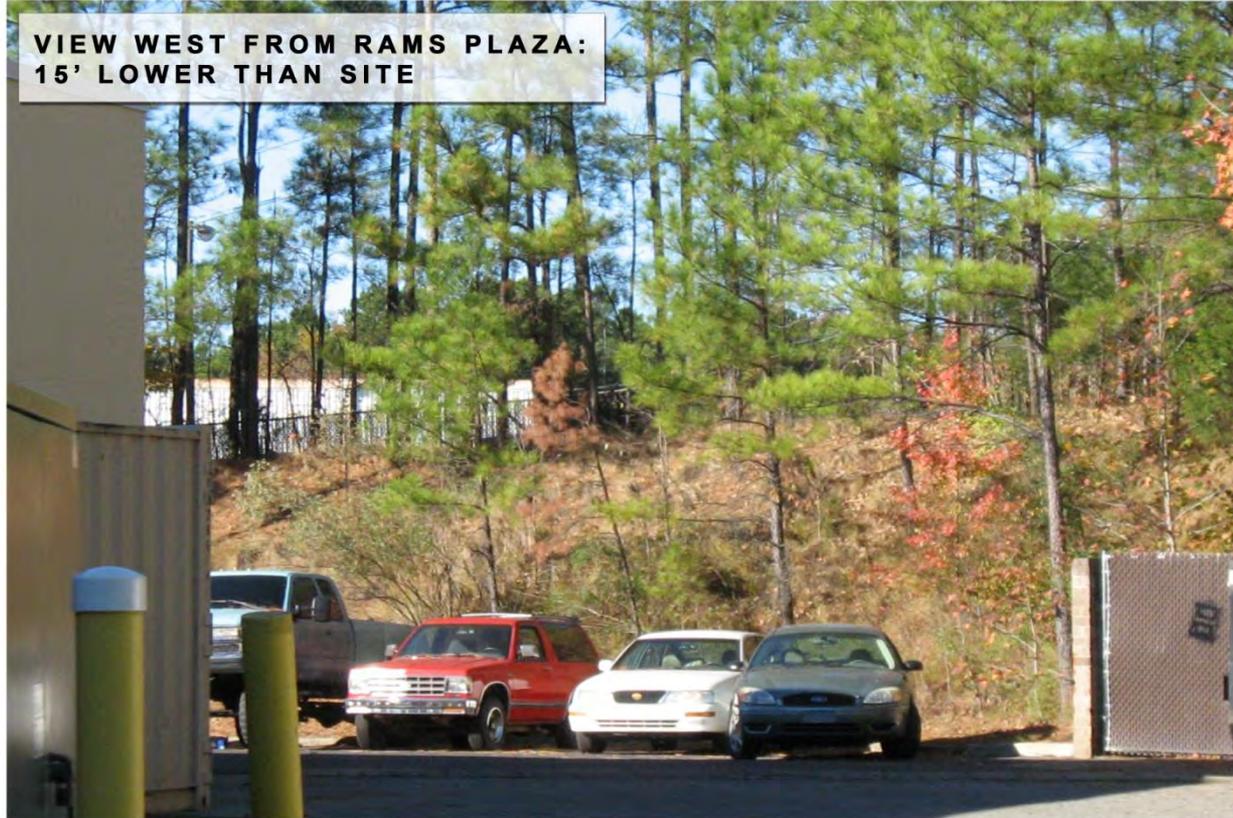
**VIEW NORTH TO EXISTING QUALITY INN:  
6' HIGHER THAN SITE**



**EXISTING TOPOGRAPHY**

**NTS**

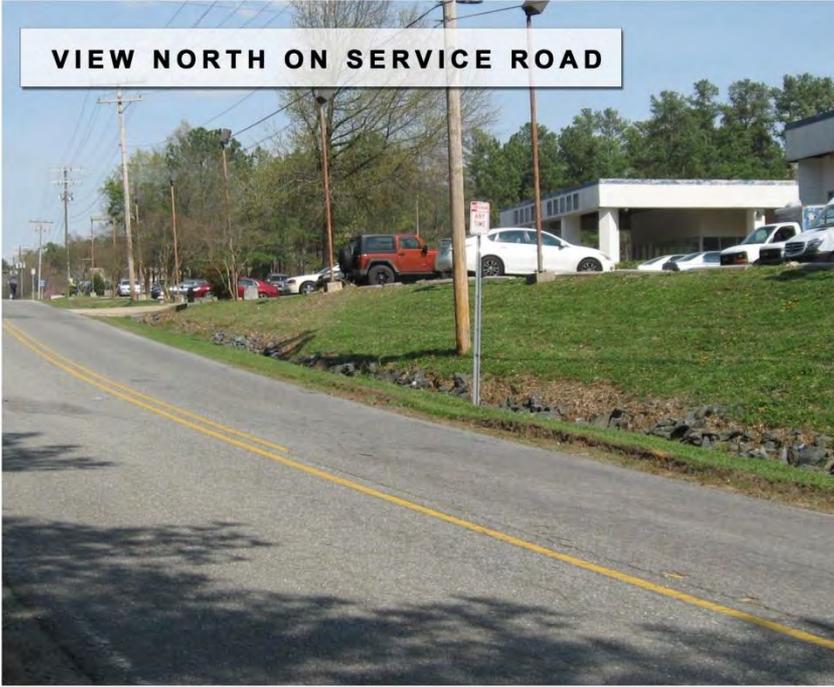
**VIEW WEST FROM RAMS PLAZA:  
15' LOWER THAN SITE**



**EXISTING TOPOGRAPHY**

**NTS**

**VIEW NORTH ON SERVICE ROAD**



**VIEW SOUTH ON SERVICE ROAD**



**EXISTING TOPOGRAPHY**

**NTS**

**VIEW WEST OF LEGION ROAD**



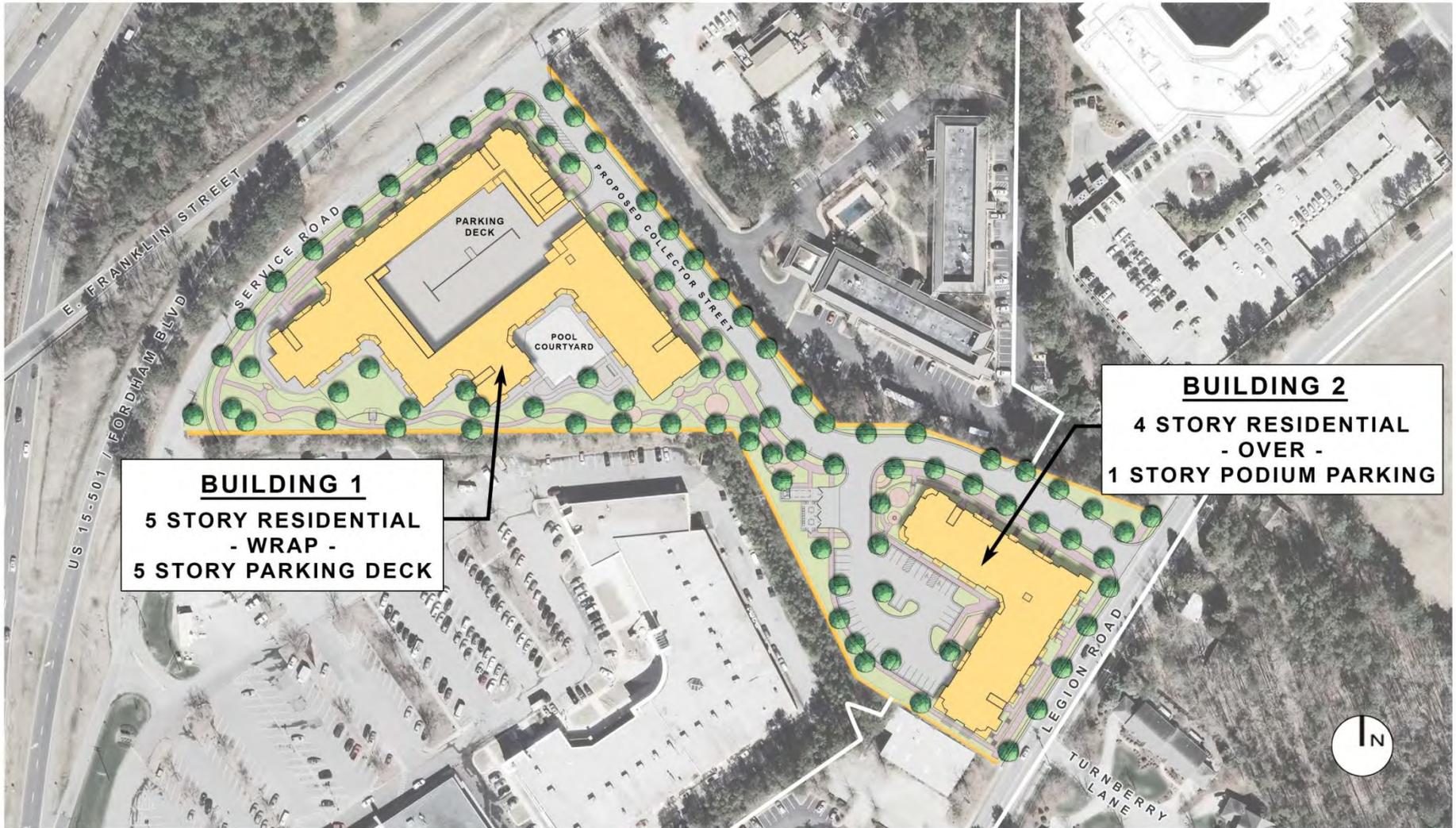
**VIEW WEST OF LEGION ROAD**



## **EXISTING TOPOGRAPHY**



**NTS**



**BUILDING 1**  
5 STORY RESIDENTIAL  
- WRAP -  
5 STORY PARKING DECK

**BUILDING 2**  
4 STORY RESIDENTIAL  
- OVER -  
1 STORY PODIUM PARKING

**PROPOSED SITE PLAN**

**NTS**

# **DESIGN ALTERNATIVE 1**

## **GROUND FLOOR ELEVATION**

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### **REQUIREMENT:**

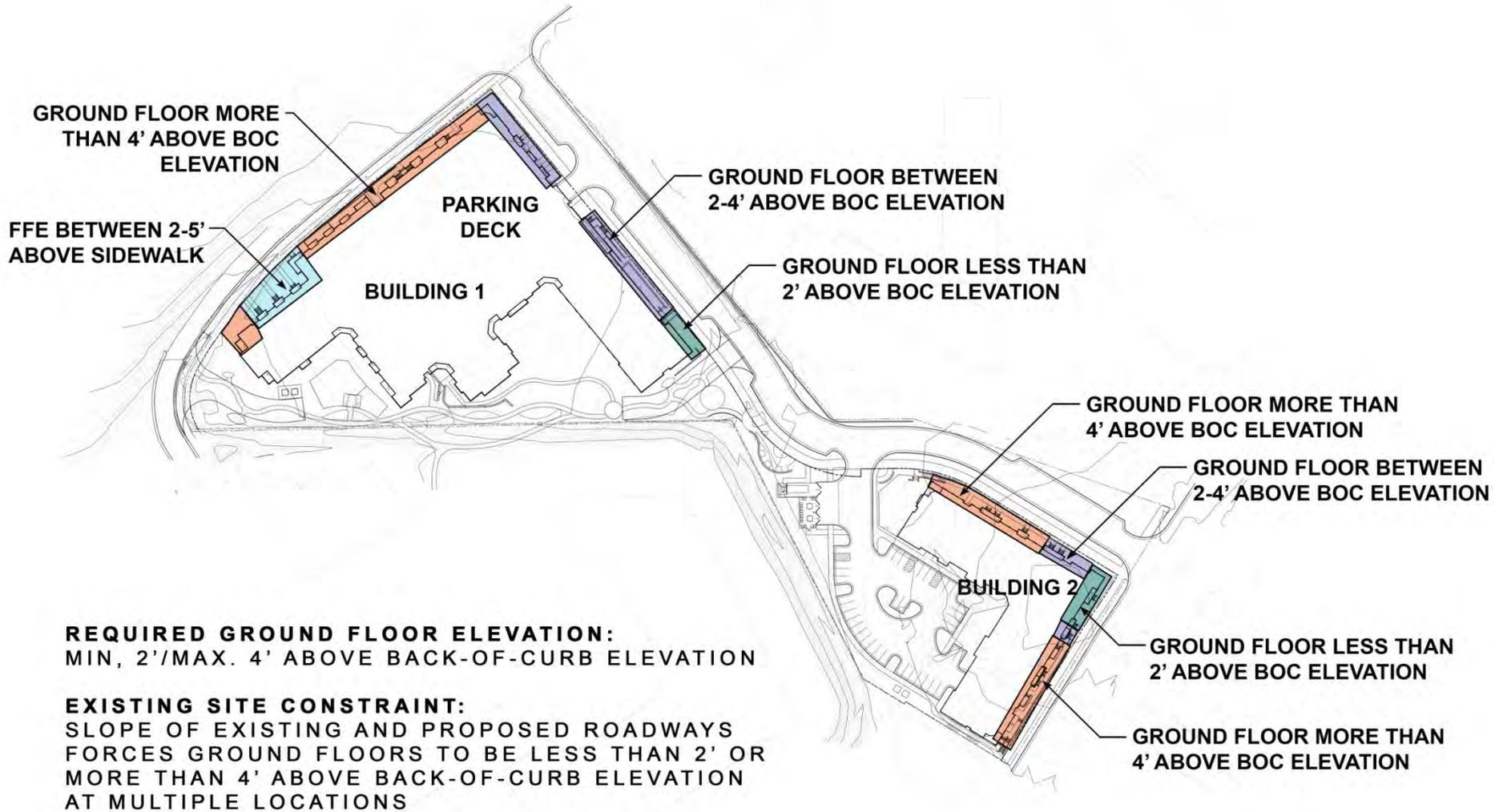
- Ground floor between 2' and 4' above back-of-curb

### **CONSTRAINTS:**

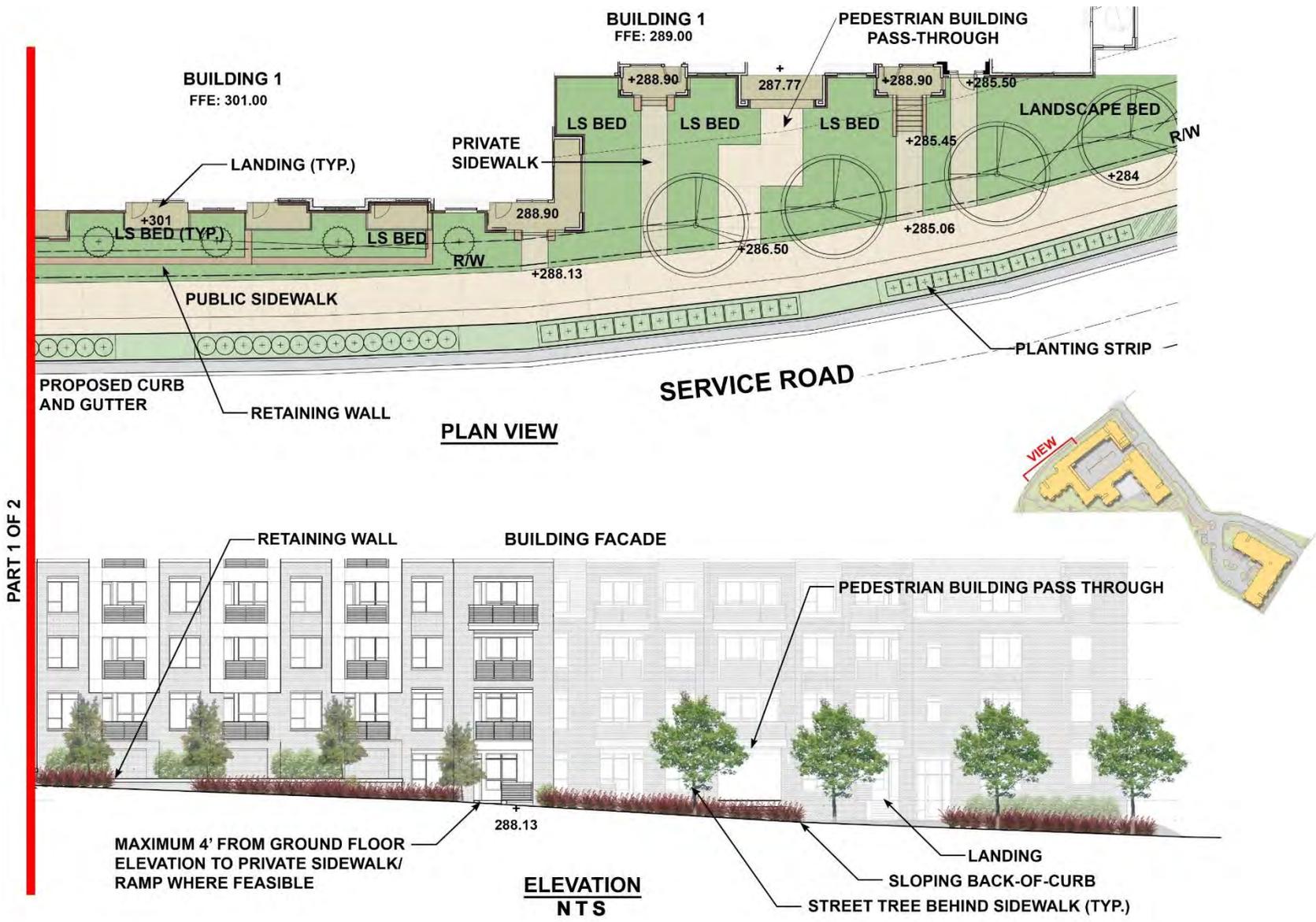
- 43' elevation change, slope of roadways

### **ALTERNATIVE:**

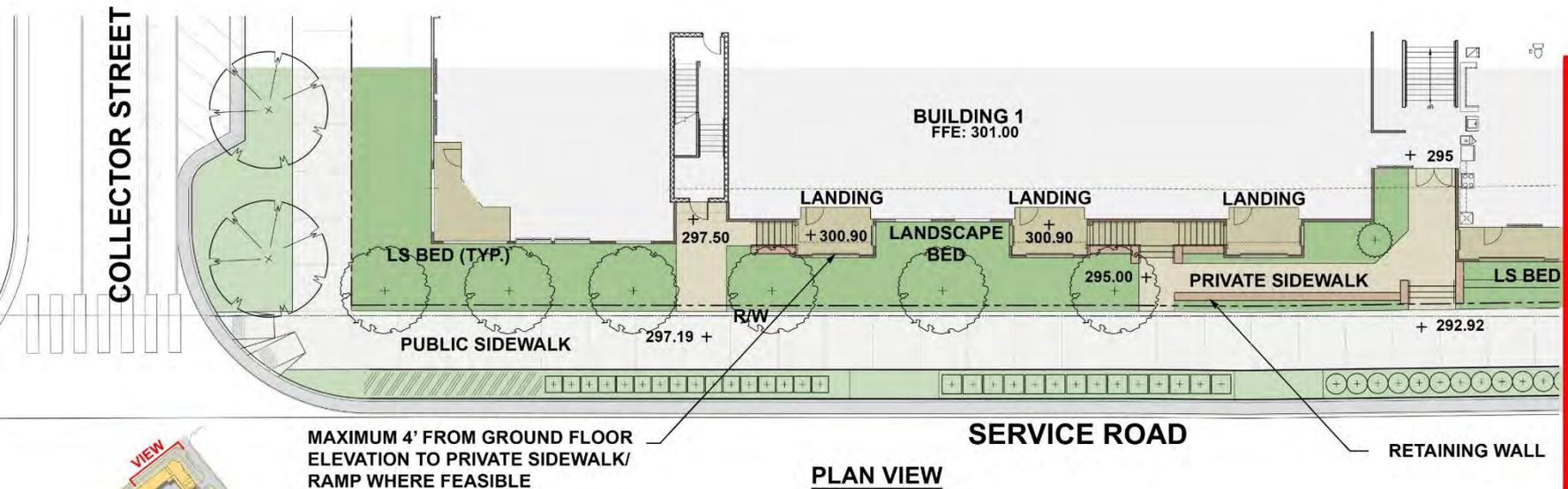
- Provide green screens, stoops, balconies, landings, stairs, ramps and secondary private sidewalks



# GROUND FLOOR ELEVATION CONSTRAINT

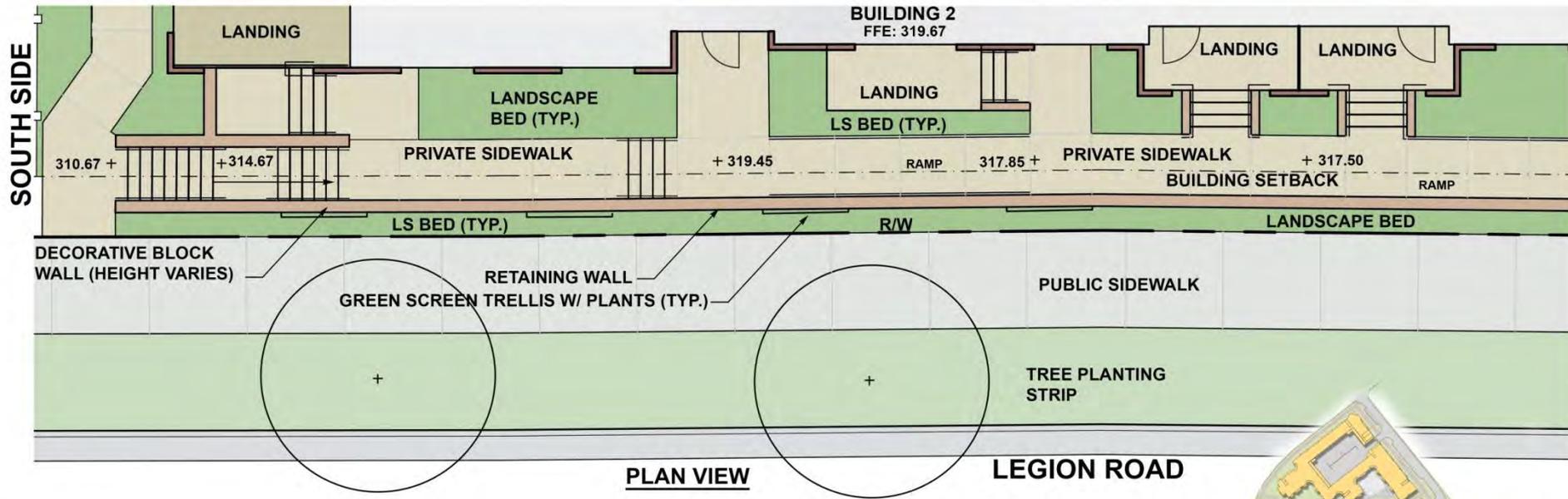


**DESIGN ALTERNATIVE 1: green screens, stoops, balconies, landings**  
 Building 1 at Service Road (part 1 of 2)



PART 2 OF 2

**DESIGN ALTERNATIVE 1: green screens, stoops, landings, balconies**  
**BUILDING 1 at Service Road (part 2 of 2)**

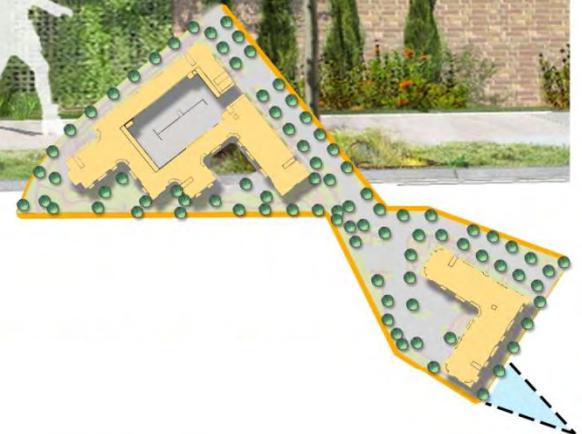


**DESIGN ALTERNATIVE 1: green screens, stoops, balconies, landings**  
 BUILDING 2 at Legion Road



# DESIGN ALTERNATIVE 1: green screens, stoops, balconies, landings

BUILDING 2 at Collector Street



**RETAINING WALL PLANTING (TYPICAL)**

# DESIGN ALTERNATIVE 2

## TREE PLANTING ZONE/ CANOPY TREES

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### REQUIREMENT:

STREETSCAPE TREE PLANTING ZONE: 8' WIDE, LOCATED BETWEEN BACK-OF-CURB & SIDEWALK

(LUMO, SEC.3.11.2.5, TYPE FRONTAGE, G)

### CONSTRAINTS:

Service Road Right-of-Way contains proposed utilities in the required tree planting zone – sanitary sewer, water, storm sewer.

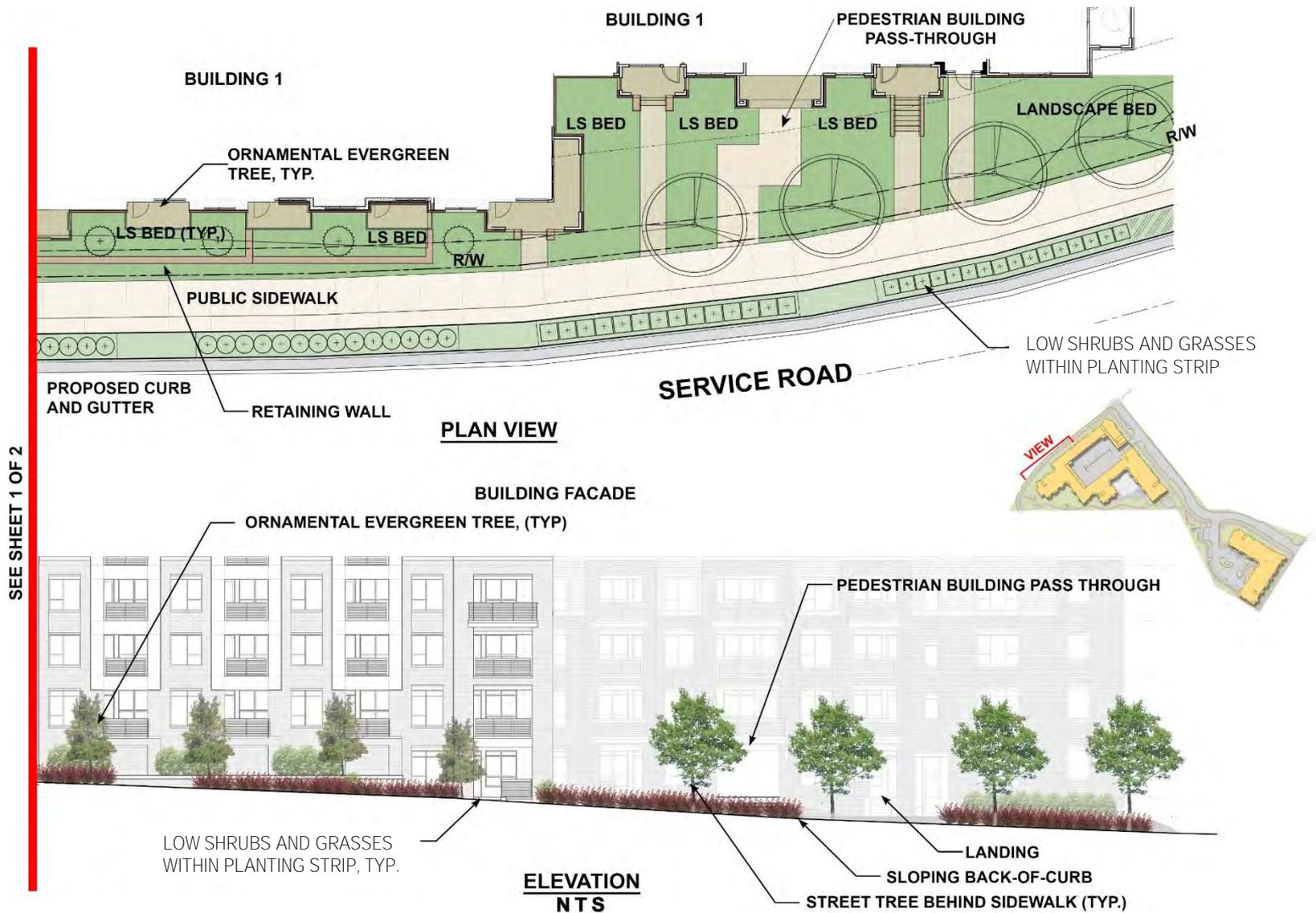
Site triangles at Collector Street

### ALTERNATIVE:

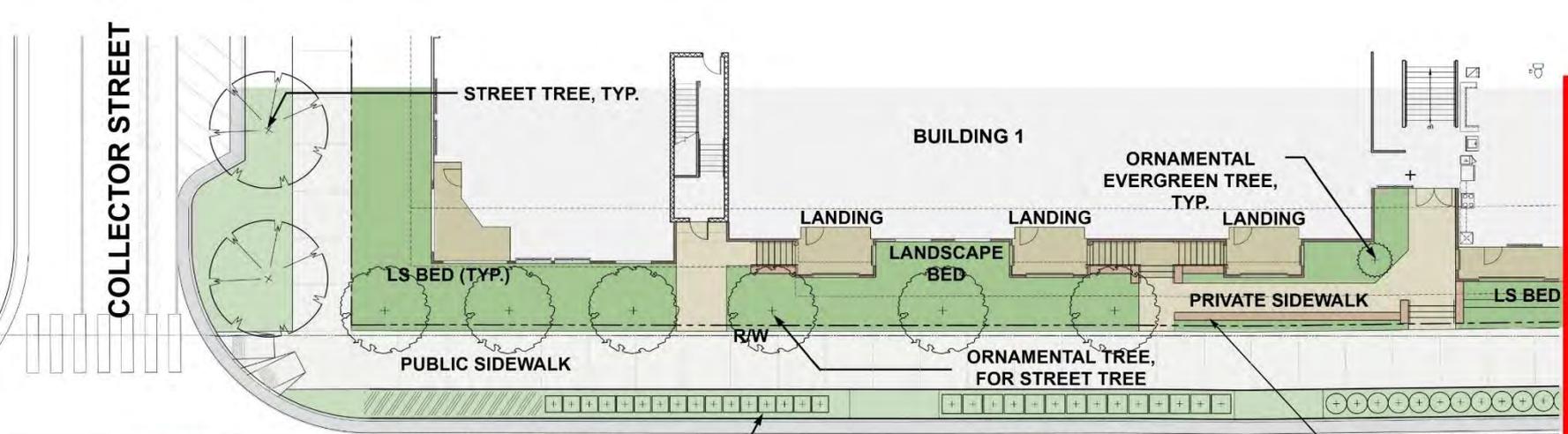
Provide 9' to >12' average width tree planting zone on the site side of the sidewalk

Install ornamental trees in close proximity to building

Install low shrubs and ornamental grasses between street and sidewalk



**Alternative 2: 9'-12' Average width tree planting zone behind sidewalk**  
**17 ornamental and canopy trees in-lieu-of 14 required canopy trees**  
 BUILDING 1 at Service Road (part 2 of 2)



**PLAN VIEW**



LOW SHRUBS AND GRASSES WITHIN PLANTING STRIP

**BUILDING FACADE**



**ELEVATIONS**

PART 2 OF 2

**Alternative 2: 9'-12' Average width tree planting zone behind sidewalk**  
**17 ornamental and canopy trees in-lieu-of 14 required canopy trees**  
**BUILDING 1 at Service Road (Part 1 of 2)**

# **DESIGN ALTERNATIVE 3**

## **BLOCK LENGTH**

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### **REQUIREMENT:**

Maximum block length is 450'

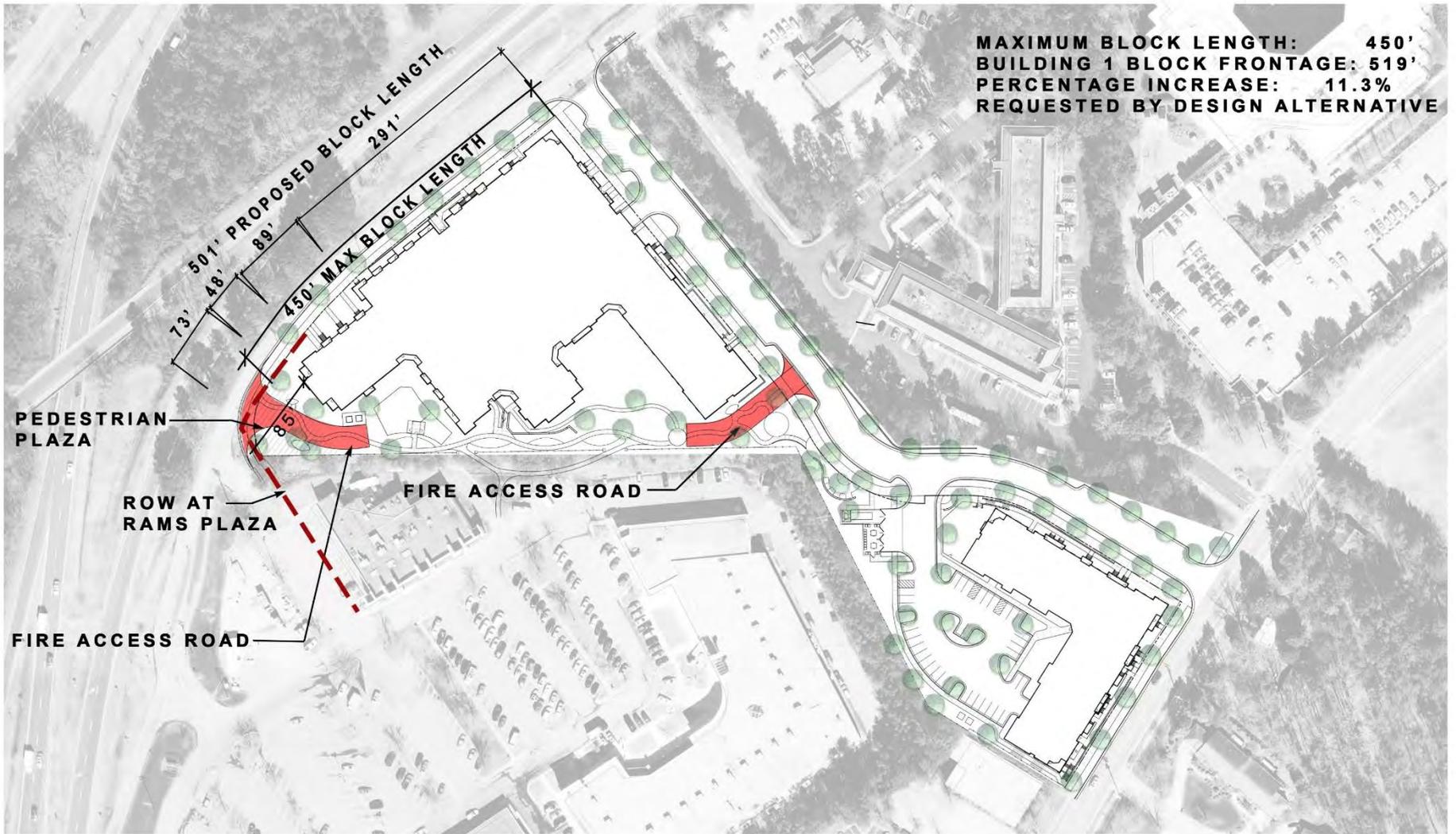
### **CONSTRAINTS:**

- Lot shape, parcel geometry of site and adjoining properties
- Fire access road, site topography

### **ALTERNATIVE:**

Request approval of an 11.3% increase above the 450 LF:

- Pedestrian Plaza provided at entry to pedestrian connector



**DESIGN ALTERNATIVE 3: BLOCK LENGTH AT SERVICE ROAD**

NTS

# DESIGN ALTERNATIVE 4

## PERIMETER BLOCK LENGTH AT BUILDING 1

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### REQUIREMENT:

Maximum perimeter block length is 1800'

Project is limited to  $\frac{1}{2}$  of total length or 900' for each building site

### CONSTRAINT:

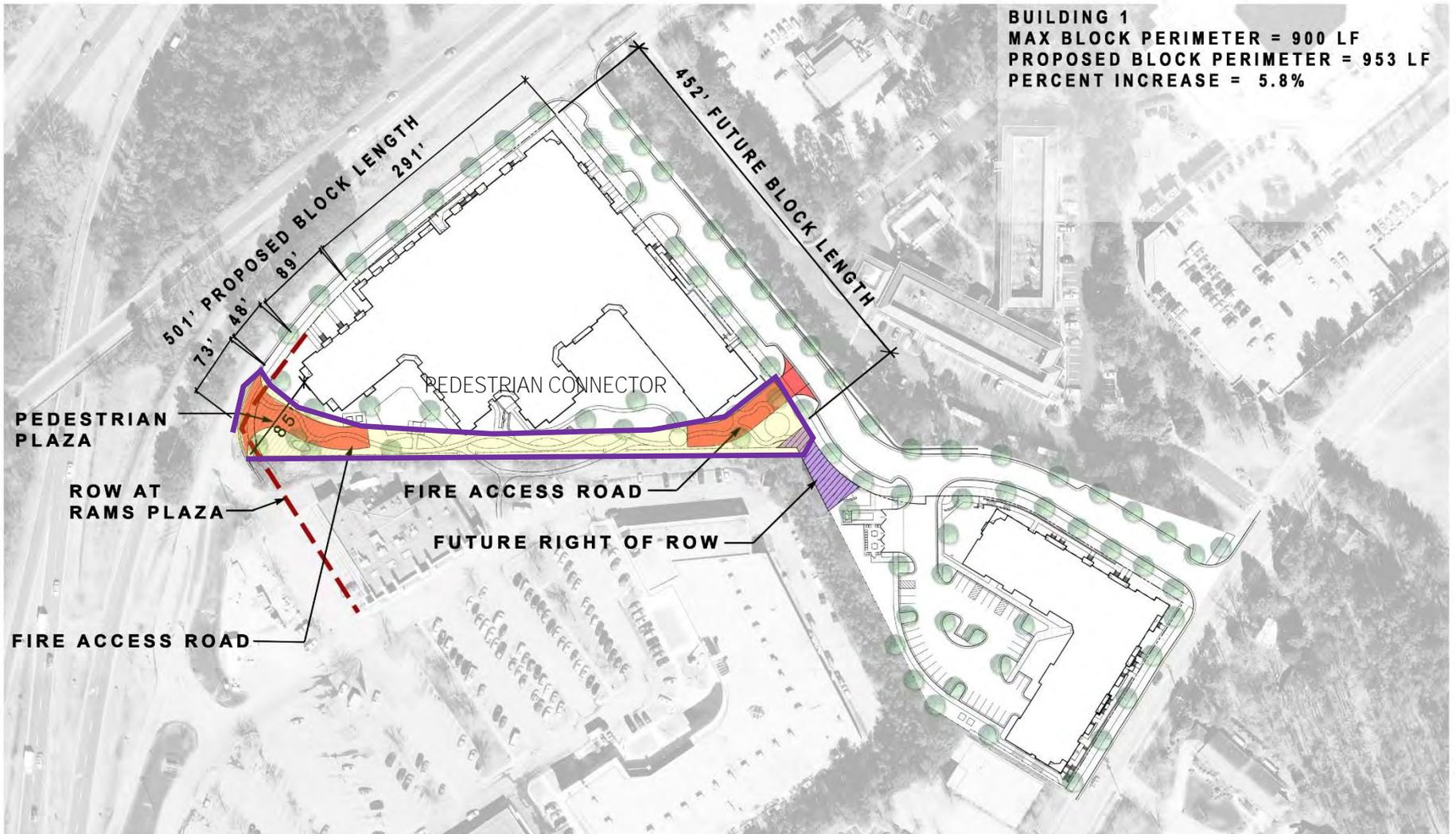
This request is based on site geometry and topography along the service road

Adjacent Parcelization Patterns

### ALTERNATIVE:

5.8% increase in block length to 953'

Pedestrian connector with public amenity spaces at each end



**ADMINISTRATIVE APPROVED ALTERNATE:  
 PERIMETER BLOCK LENGTH AT BUILDING 1**

# **ARCHITECTURE**

1. Building One – Elevations

2. Building Two – Elevations

3. Materials, Colors and Finishes



# NORTH ELEVATION – BUILDING 1 AT COLLECTOR STREET

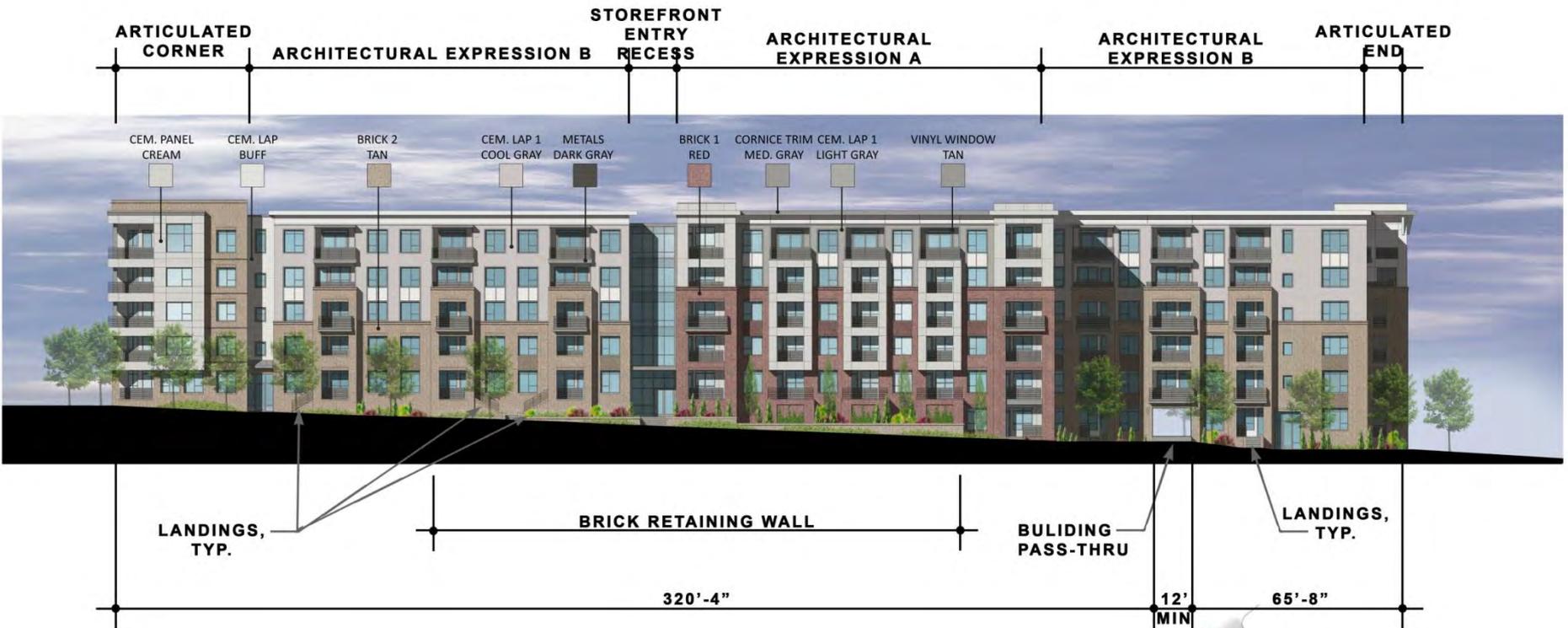




**ENLARGED ELEVATIONS - BUILDING 1**



**ENLARGED ELEVATIONS - BUILDING 1**

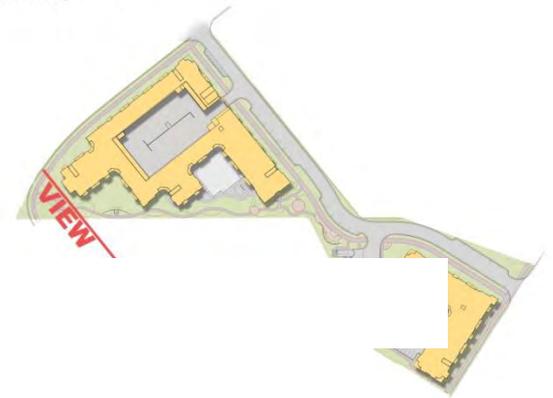


**WEST ELEVATION – BUILDING 1 FACING SERVICE ROAD**

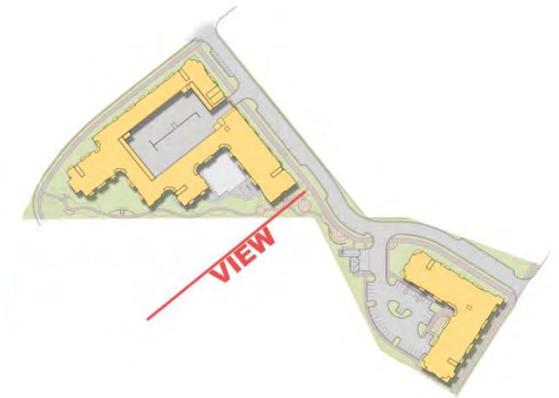




MODULAR CONCRETE RETAINING  
WALL BEYOND



**SOUTH ELEVATION - BUILDING 1**



**EAST ELEVATION - BUILDING 1 FACING  
PEDESTRIAN CONNECTOR**



## ELEVATIONS - BUILDING 1 AT POOL COURTYARD



**EAST ELEVATION - BUILDING 2**



**ENLARGED ELEVATIONS - BUILDING 2**



**NORTH ELEVATION - BUILDING 2**



**SOUTH ELEVATION - BUILDING 2**



**WEST ELEVATION - BUILDING 2**



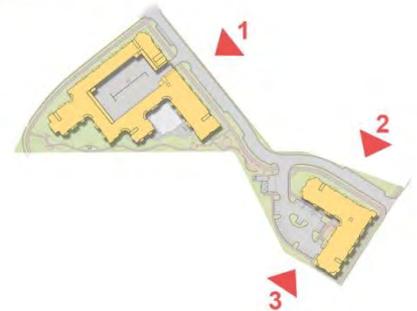
1 BUILDING 1



2 BUILDING 2



3 BUILDING 2



# BUILDING ELEMENT CONSISTENCY



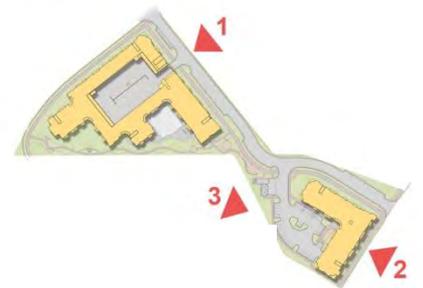
3 BUILDING 2



2 BUILDING 2



1 BUILDING 1



# BUILDING ELEMENT CONSISTENCY



**BUILDING 2**



**BUILDING 1**



**SITE CROSS-SECTION: ELEVATION ALONG  
COLLECTOR STREET**



**BUILDING 1 COLLECTOR STREET ELEVATION**



**BUILDING 1 SERVICE ROAD ELEVATION**



**BUILDING 1 – WRAP ELEVATIONS**



**BUILDING 2 LEGION ROAD ELEVATION**



**BUILDING 2 COLLECTOR STREET ELEVATION**

## **BUILDING 2 – WRAP ELEVATIONS**



## MASONRY / BRICK



**BRICK 1 RED**  
SIM OR EQUAL TO  
GENERAL SHALE  
ST. LOUIS



**BRICK 2 TAN**  
SIM OR EQUAL TO  
GENERAL SHALE  
GULFSTONE

## CAST STONE



SIM OR EQUAL TO  
ARRISCRAFT RENNAISANCE  
GINGER

## CEMENTITIOUS LAP SIDING



**CEM LAP 1  
LIGHT GREY**  
SIM OR EQUAL TO  
VERSATILE GRAY  
SW6072



**CEM LAP 2  
BUFF**  
SIM OR EQUAL TO  
HERON PLUME  
SW6070



**CEM LAP 3  
CREAM**  
SIM OR EQUAL TO  
POPULAR GRAY  
SW6071

## CEMENTITIOUS PANEL



**CEM PANEL 1  
BUFF**  
SIM OR EQUAL TO  
HERON PLUME  
SW6070



**CEM PANEL 2  
CREAM**  
SIM OR EQUAL TO  
POPULAR GRAY  
SW6071

## TRIM



**CORNICE  
MED GREY**  
SIM OR EQUAL TO  
PERFECT GREIGE  
SW6073

## ACCENTS



**VINYL WINDOW  
TAN**



**METALS  
DARK BRONZE**

# APPENDIX

## **DESIGN ALTERNATIVE - GROUND FLOOR ELEVATION: (SEC. 3.11.2.4.3.E)**

- **REQUIRED:**

- GROUND FLOOR ELEVATION OF BUILDING TO BE BETWEEN 2' AND 4' ABOVE ADJACENT BACK-OF-CURB ELEVATION

- **CONSTRAINTS:**

- SITE ELEVATIONS VARY BY 43' ACROSS THE PROPERTY
- SLOPE OF ROADWAYS FORCE GROUND FLOOR ELEVATIONS TO BE LESS THAN 2' OR MORE THAN 4' ABOVE THE BACK-OF-CURB ELEVATION AT MANY LOCATIONS

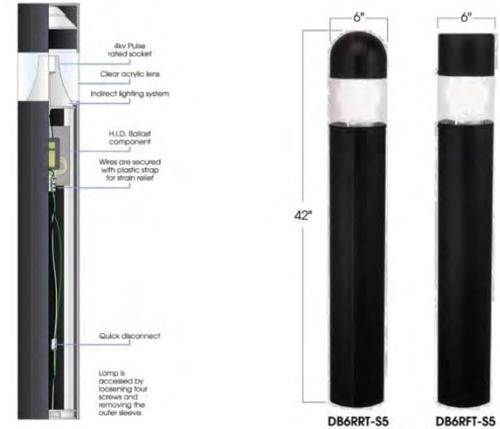
- **DESIGN ALTERNATIVE:**

- PROVIDE STOOPS, GROUND FLOOR BALCONIES, LANDINGS, STAIRS AND RAMPS, WHERE FEASIBLE, ALONG STREET FRONTAGES
- PROVIDE SECONDARY PRIVATE SIDEWALKS, WHERE FEASIBLE, ABOVE RETAINING WALLS TO MINIMIZE ELEVATION DIFFERENCE FROM GROUND FLOOR ELEVATION TO THE NEAREST SIDEWALK ELEVATION
- ADD LOWER LEVEL TO BUILDING ONE TO BETTER ADDRESS STREET ELEVATION AND STREETScape CONDITIONS





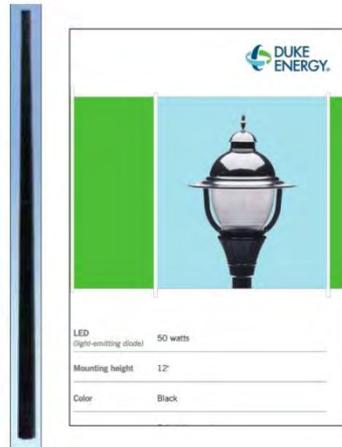
SEGMENTAL BLOCK WALL



LIGHT BOLLARD



BRICK CHEEK WALL



12' ALUMINUM POST AND LIGHT FIXTURE



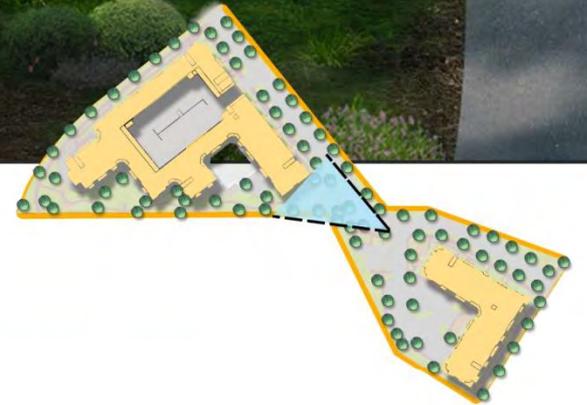
FESTOON LIGHTING

**ALTERNATIVE = Public and Resident connections and amenities**



# Pedestrian Plaza

NTS



**Pedestrian Plaza**

# **CDC APPROVAL AUTHORITY**

## **Land Use Management Ordinance Section 3.11 Ephesus / Fordham Form District**

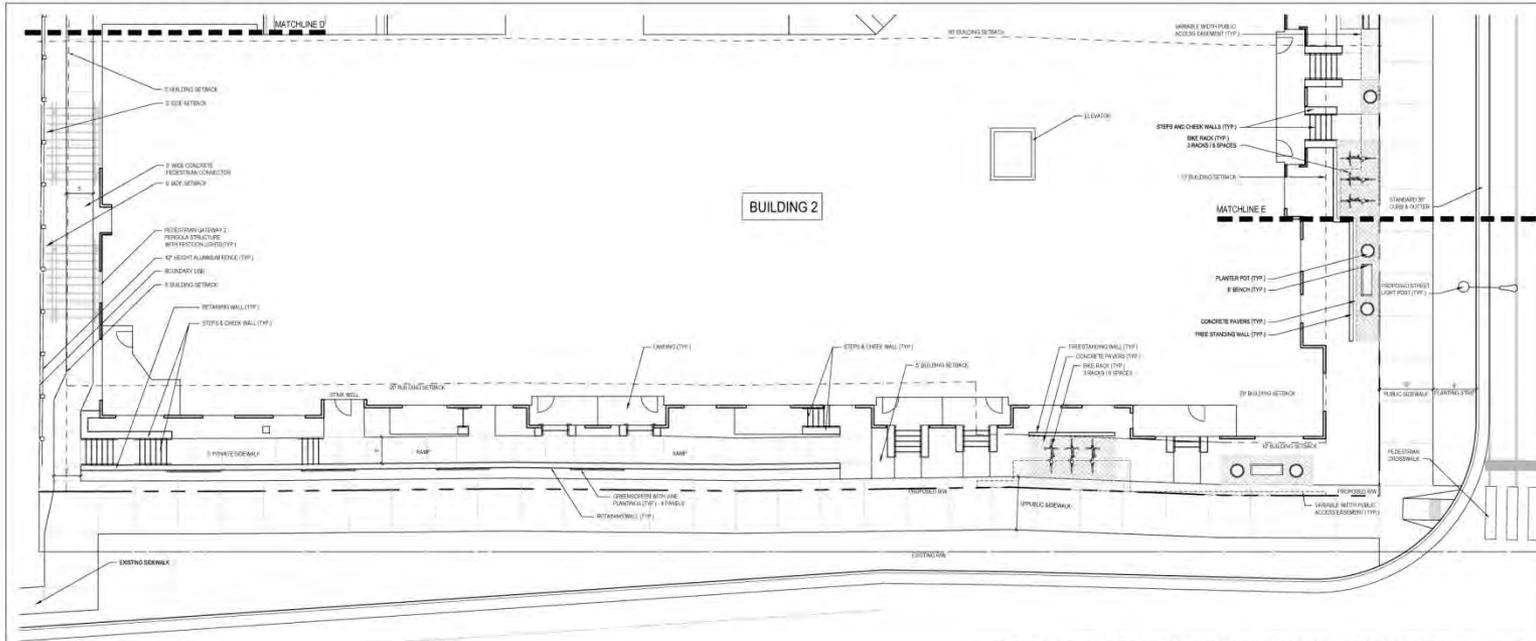
### **SECTION 3.11.1.2. OVERALL SITE DESIGN**

**H. Application of Design Alternatives.** Where a development site poses a constraint making it difficult to meet the requirements of Section 3.11 (e.g., topography, lot size and shape, etc.), and where the Community Design Commission makes a finding that a proposed design alternative could provide an equivalent or better result that meets the purpose and intent of Section 3.11, the Community Design Commission may approve such an alternative design as part of a Certificate of Appropriateness.

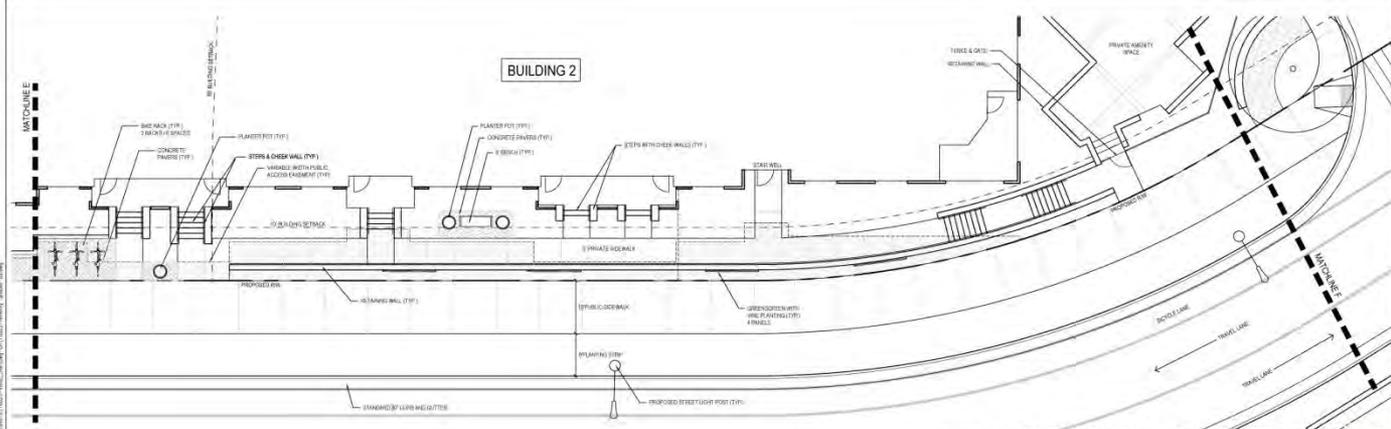








PEDESTRIAN GATEWAY 2 AND LEGION ROAD - LAYOUT PLAN  
SCALE: 1" = 10'



COLLECTOR STREET EAST - LAYOUT PLAN  
SCALE: 1" = 10'

**DESIGN ALTERNATIVE 1 / GROUND FLOOR ELEVATION (SEC. 5.11.2.4)**

**REQUIRED:**

- GROUND FLOOR BETWEEN 2 & 4 ABOUT BACK OF CURB

**DESIGN ALTERNATIVE:**

- PROVIDE RETAINING WALLS, GREEN SCREENS, STOPS, BALCONIES, LANDINGS, STAIRS, RAMP, AND SECONDARY PRIVATE SIDEWALKS

**SHEET KEY**

**PEDESTRIAN GATEWAY 2, LEGION ROAD & COLLECTOR STREET EAST LAYOUT PLAN**

FIG. 7.10-11

SCALE: 1" = 10'

REVISIONS	DATE
PROJECT: M202	03.01.2016
ISSUE: FDP APPLIC	02.02.2016
CD-C1	01.26.2017
CD-C2	02.26.2017
CD-C3-FDP-3	04.10.2017
REVISIONS: CD-C2	02.28.2017

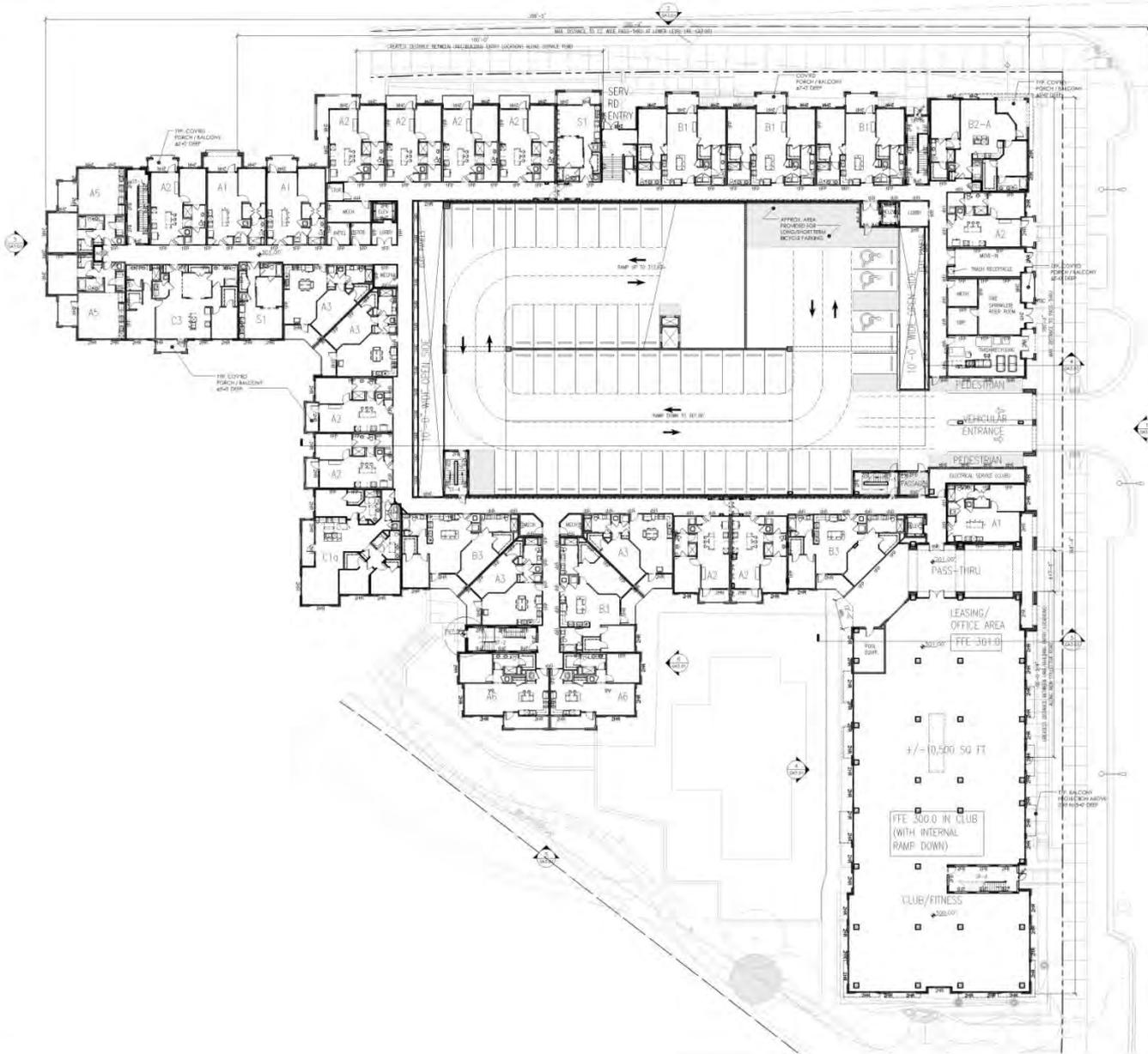
DRAWN BY: Y278JNH
CHECKED BY: PHM
OWNER: PEDESTRIAN GATEWAY 2
LEGION ROAD & COLLECTOR STREET EAST
LAYOUT PLAN







1/17/2021 9:52 AM Notes: J:\2021\192021\_Hillstone\_Building\_1\192021\_Hillstone\_Building\_1\_Level\_1.dwg



**BUILDING 1 - LEVEL 1 PLAN**  
SCALE: 1/16" = 1'-0"

**NOTES**

**RATED WALL LEGEND**

- 1 HR RATED BEARING WALL (PER UL U308 @ EXTERIOR WALL & UL U305 @ INTERIOR)
- 2 HR RATED BEARING WALL (PER UL U371 @ EXTERIOR WALL & UL U371 @ INTERIOR)
- 1 HR FIRE PARTITION (PER UL U341 @ TENANT SEPARATION WALL)
- 1 HR FIRE BARRIER (PER UL U305)
- 2 HR FIRE BARRIER (PER UL U301)
- 2 HR FIRE BARRIER (PER UL U305)
- 2 HR FIRE WALL (PER UL U347)
- RATED SEMI-RECESSED FIRE EXTINGUISHER CABINET - SEE DETAIL - 4A OR 4A.1C

**ROOM DESIGNATIONS:**

- S. STORAGE
- M. MECHANICAL
- E. ELECTRICAL
- R. RESTROOM
- V. VENDING

**KEY PLAN**

**PROJECT:** HILLSTONE BUILDING 1  
**DATE:** 1/17/2021  
**DESIGNER:** J. DAVIS  
**CHECKER:** J. DAVIS  
**DATE:** 1/17/2021  
**PROJECT:** HILLSTONE BUILDING 1  
**DATE:** 1/17/2021  
**DESIGNER:** J. DAVIS  
**CHECKER:** J. DAVIS  
**DATE:** 1/17/2021

**J DAVIS**  
5100 South Weymouth Dr. | Durham, NC 27705 | Tel: 919.305.1000  
1010 Walnut St., Suite 100 | Philadelphia, PA 19101 | Tel: 215.626.0700

**LEON**  
Capital Group

**Leon Group**  
**Hillstone - Building 1**  
Chapel Hill, North Carolina

**NOT FOR CONSTRUCTION**

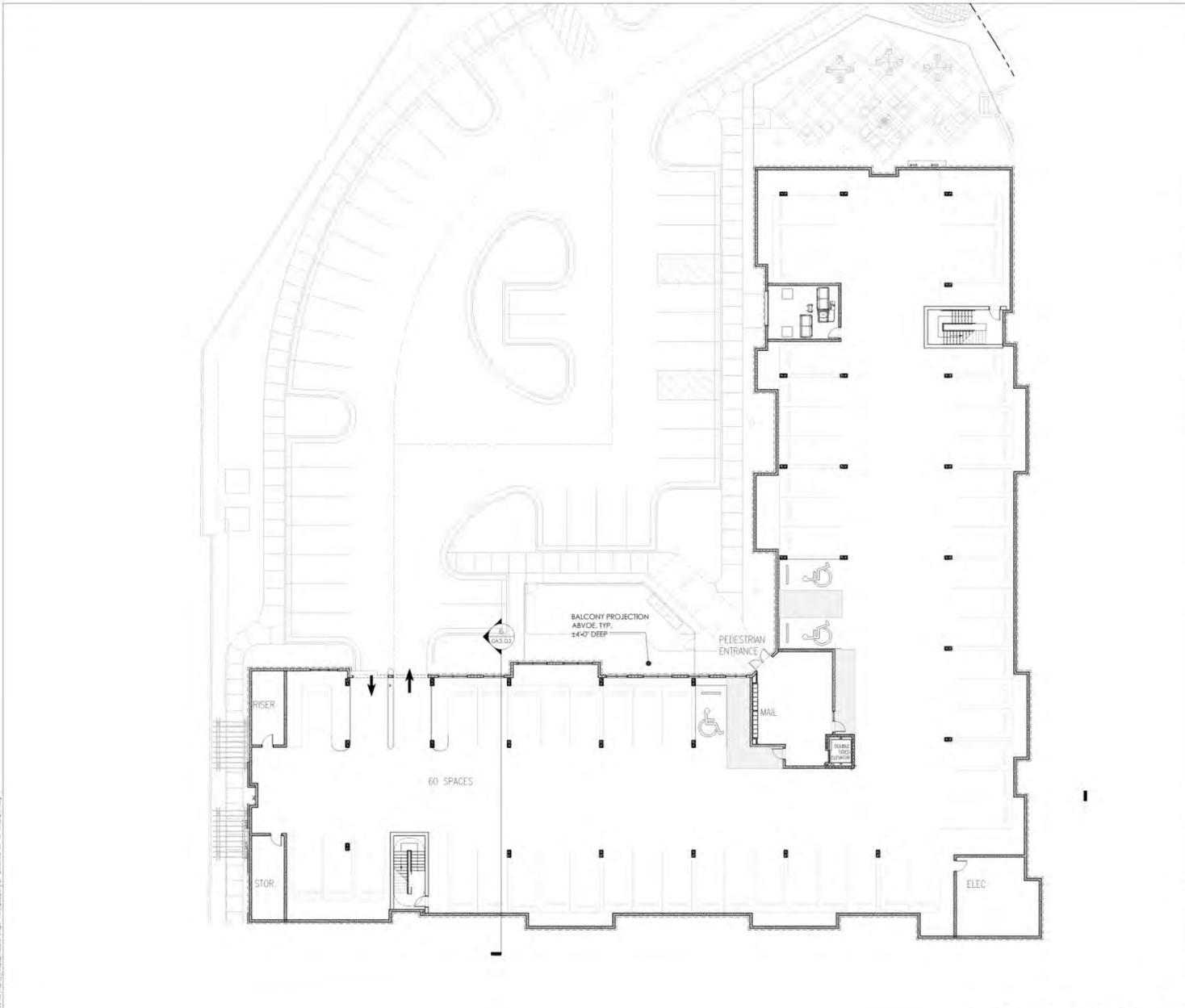
**GA2.01**











**NOTES**

**RATED WALL LEGEND**

- 1 HR RATED BEARING WALL (PER UL U308 @ EXTERIOR WALL & UL U305 @ INTERIOR)
- 2 HR RATED BEARING WALL (PER UL U371 @ EXTERIOR WALL & UL U301 @ INTERIOR)
- 1 HR FIRE PARTITION (PER UL U341 @ TENANT SEPARATION WALL)
- 1 HR FIRE BARRIER (PER UL U305)
- 2 HR FIRE BARRIER (PER UL U301)
- 2 HR FIRE BARRIER (PER UL U305)
- 2 HR FIRE WALL (PER UL U347)
- RATED SEMI-RECESSED FIRE EXTINGUISHER CABINET - SEE DETAIL - 4A OR 4C-12

**ROOM DESIGNATIONS:**

- S. STORAGE
- M. MECHANICAL
- E. ELECTRICAL
- R. RESTROOM
- V. VENDING

**KEY PLAN**

**PROJECT:** HHS  
**DATE:**  
**DESIGN:** SCHEMATIC DESIGN  
**POPULATION:** 50,000  
**DESIGN DEVELOPMENT:** 50,000  
**95% DEVELOPMENT SET:**  
**PERMITS SET:**  
**CONTRACT SET:**  
**AS-BUILT:**  
**ISSUED FOR PERMITS:**  
**ISSUED FOR CONSTRUCTION:**  
**ISSUED FOR OCCUPANCY:**

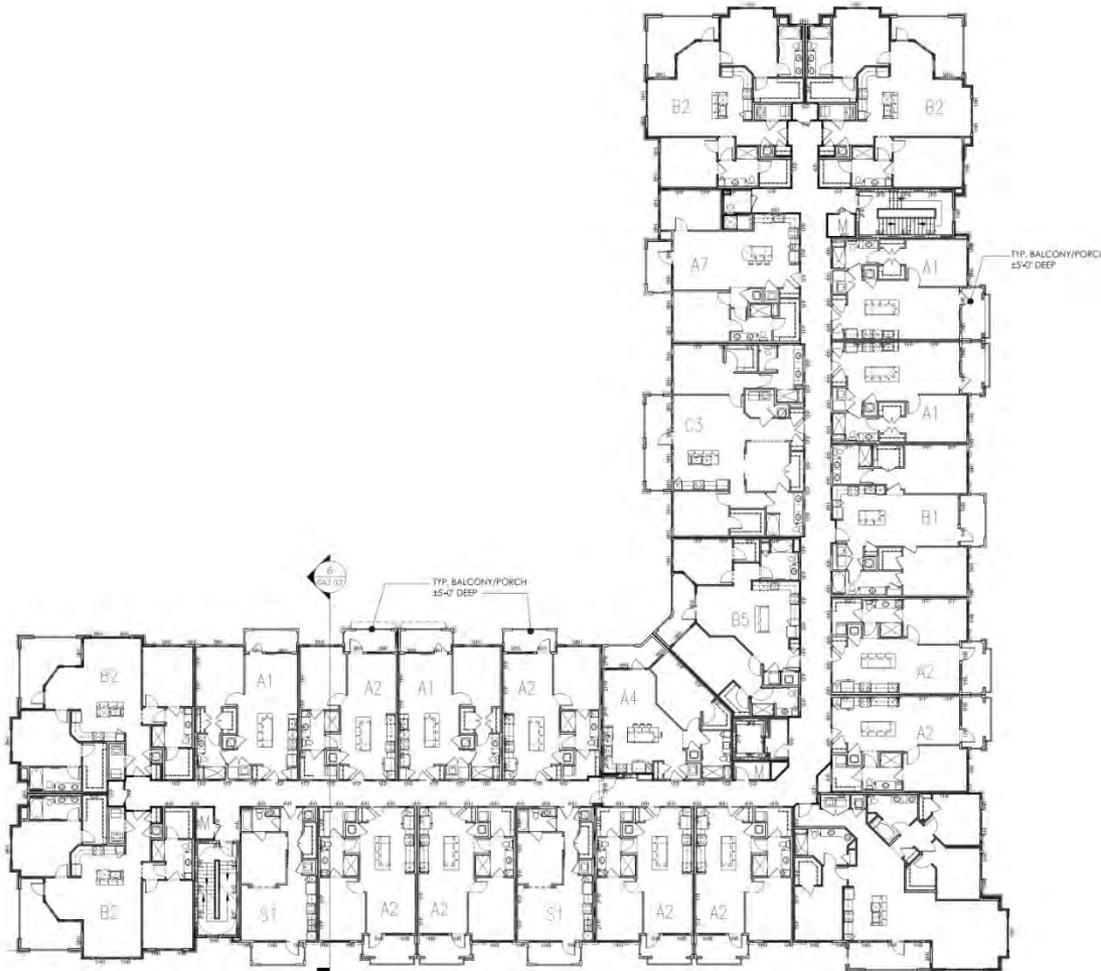
**DESIGNED BY:** BUILDING2  
**CHECKED BY:** BUILDING2  
**DATE:** BUILDING PLAN-LEVEL 1

**BUILDING 2 - LEVEL 1 GARAGE PLAN**  
 SCALE: 3/32" = 1'-0" 1

**NOT FOR CONSTRUCTION**







**NOTES**

**RATED WALL LEGEND**

- 1 HR RATED BEARING WALL (PER UL U308 @ EXTERIOR WALL & UL U305 @ INTERIOR)
- 2 HR RATED BEARING WALL (PER UL U371 @ EXTERIOR WALL & U301 @ INTERIOR)
- 1 HR FIRE PARTITION (PER UL U341 @ TENANT SEPARATION WALL)
- 1 HR FIRE BARRIER (PER UL U305)
- 2 HR FIRE BARRIER (PER UL U301)
- 2 HR FIRE BARRIER (PER UL U365)
- 2 HR FIRE WALL (PER UL U347)
- RATED SEMI-RECESSED FIRE EXTINGUISHER CABINET - SEE DETAIL - 48\"/>

**ROOM DESIGNATIONS**

- S. STORAGE
- M. MECHANICAL
- E. ELECTRICAL
- R. RESTROOM
- V. VENDING

**KEY PLAN**

**NOTES**

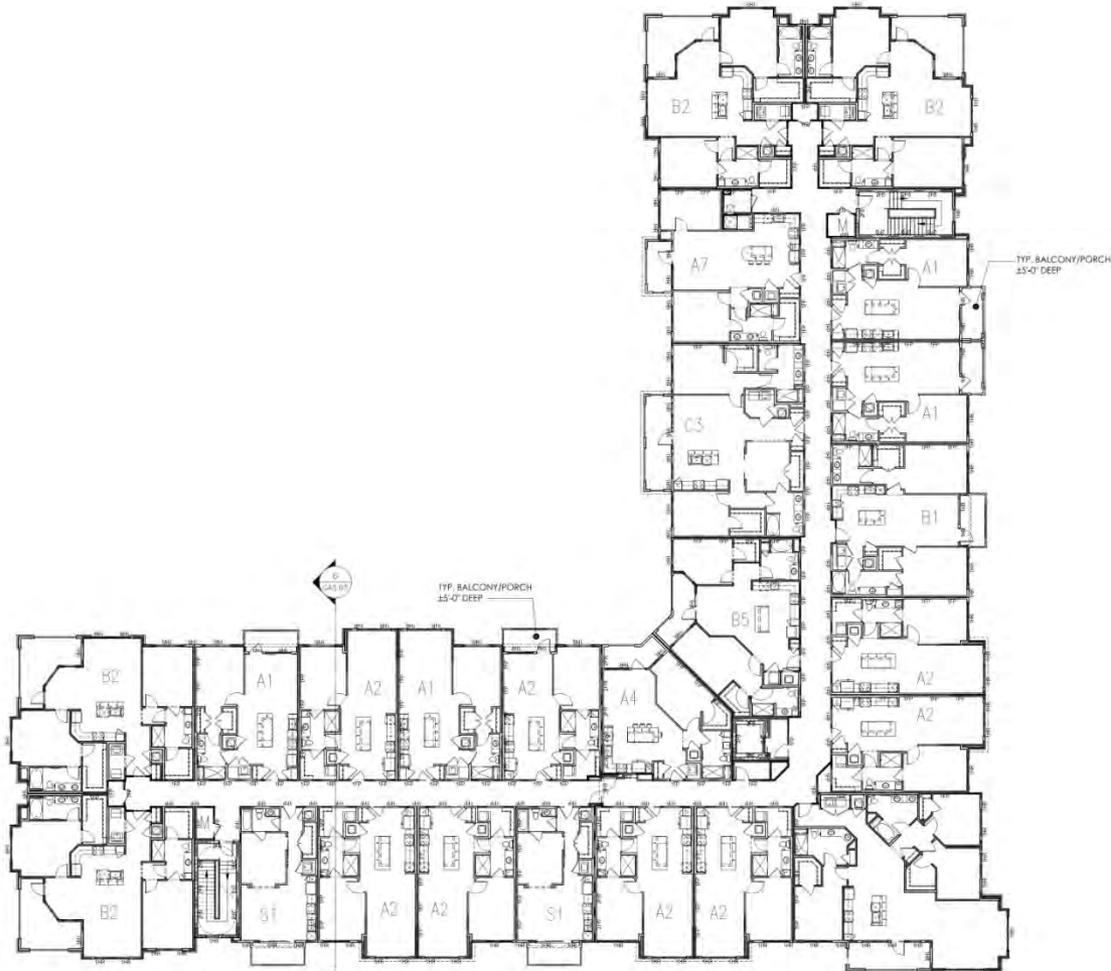
PROJECT:	HECO	DATE:	
DESIGN:	SCHEMATIC DESIGN		
TOP SURVEY:	AS BUILT		
DESIGN DEVELOPMENT:	SCHEMATIC		
95% DEVELOPMENT SET:			
PERMITS SET:			
CONTRACT SET:			
AS BUILT SET:			
DESIGN BY:			
DESIGNED BY:			
CHECKED BY:			
DATE:			
PROJECT:	BUILDING 2		
CONTRACT:	BUILDING 2		
DATE:			

**BUILDING PLAN - LEVEL 3**  
SCALE: 3/32" = 1'-0" 1

**NOT FOR CONSTRUCTION**







**NOTES**

- RATED WALL LEGEND**
- 1 HR RATED BEARING WALL (PER UL U308 @ EXTERIOR WALL & UL U305 @ INTERIOR)
  - 2 HR RATED BEARING WALL (PER UL U371 @ EXTERIOR WALL & U301 @ INTERIOR)
  - 1 HR FIRE PARTITION (PER UL U341 @ TENANT SEPARATION WALL)
  - 1 HR FIRE BARRIER (PER UL U305)
  - 2 HR FIRE BARRIER (PER UL U301)
  - 2 HR FIRE BARRIER (PER UL U345)
  - 2 HR FIRE WALL (PER UL U347)
  - RATED SEMI-RECESSED FIRE EXTINGUISHER CABINET - SEE DETAIL - 48" DIA. X 36"

- ROOM DESIGNATIONS**
- S. STORAGE
  - M. MECHANICAL
  - E. ELECTRICAL
  - R. RESTROOM
  - V. VENDING

**BUILDING PLAN - LEVEL 5**  
SCALE: 1/16" = 1'-0"

**KEY PLAN**



**NOT FOR CONSTRUCTION**



PROJECT:	HILLSTONE	DATE:	
DESIGN:	SCHEMATIC DESIGN	REVISION:	01
DESIGN DEVELOPMENT:	02	PERMIT REVIEW SET:	03
CONSTRUCTION SET:		DATE:	
DESIGNED BY:		CHECKED BY:	
DRAWN BY:		PROJECT:	BUILDING 2
PROJECT:	BUILDING 2	PROJECT PLAN:	05



**BUILDING 1 POOL COURTYARD SIDE ELEVATION**  
SCALE: 1/16" = 1'-0"

6

**BUILDING 1 EAST SIDE ELEVATION (FACING RAMS PLAZA & BLDG 2)**  
SCALE: 1/16" = 1'-0"

5



**BUILDING 1 REAR/SOUTH SIDE ELEVATION**  
SCALE: 1/16" = 1'-0"

4



**BUILDING 1 REAR/SOUTH SIDE ELEVATION**  
SCALE: 1/16" = 1'-0"

3



**BUILDING 1 WEST SIDE ELEVATION (FACING SERVICE ROAD)**  
SCALE: 1/16" = 1'-0"

2



**BUILDING 1 FRONT/NORTH ELEVATION (FACING NEW ROAD)**  
SCALE: 1/16" = 1'-0"

1

**EXTERIOR FINISH LEGEND:**

- (S1) STONE CLADDING
- (S2) BRICK CLADDING
- (S3) CONCRETE CLADDING
- (S4) METAL CLADDING
- (S5) GLASS CLADDING
- (S6) TERRAZZO CLADDING
- (S7) POLISHED CONCRETE
- (S8) PAINTED CONCRETE
- (S9) STUCCO CLADDING
- (S10) CLAY TILE CLADDING
- (S11) SLATE CLADDING
- (S12) MARBLE CLADDING
- (S13) GRANITE CLADDING
- (S14) QUARTZITE CLADDING
- (S15) SANDSTONE CLADDING
- (S16) LIMESTONE CLADDING
- (S17) GNEISS CLADDING
- (S18) SCHIST CLADDING
- (S19) SLATE CLADDING
- (S20) MARBLE CLADDING
- (S21) GRANITE CLADDING
- (S22) QUARTZITE CLADDING
- (S23) SANDSTONE CLADDING
- (S24) LIMESTONE CLADDING
- (S25) GNEISS CLADDING
- (S26) SCHIST CLADDING
- (S27) SLATE CLADDING
- (S28) MARBLE CLADDING
- (S29) GRANITE CLADDING
- (S30) QUARTZITE CLADDING
- (S31) SANDSTONE CLADDING
- (S32) LIMESTONE CLADDING
- (S33) GNEISS CLADDING
- (S34) SCHIST CLADDING
- (S35) SLATE CLADDING
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- (S99) SLATE CLADDING
- (S100) MARBLE CLADDING

**NOT FOR CONSTRUCTION**



PROJECT:	NO. 01	DATE:
DESIGNED BY:	SCHEMATIC DESIGN	AS NOTED
DRAWN BY:	SCHEMATIC DESIGN	AS NOTED
CHECKED BY:	SCHEMATIC DESIGN	AS NOTED
APPROVED BY:	SCHEMATIC DESIGN	AS NOTED
DATE:		

