

SITE DATA:

ZONING: EF (WX-7 & WX-5)
 MAX. HEIGHT LIMIT: WX-5 = 60 FT.; WX-7 = 90 FT.

PROPOSED HEIGHTS: BUILDING 1 = 69.3 FT.; BUILDING 2 = 55.5 FT.

REQUIRED SETBACKS: TYP. A FRONTAGE 0' MIN./10' MAX.

PROPOSED SETBACKS: TYP. B FRONTAGE 0' MIN/85' MAX.

BUILD TO ZONE DISTANCES:
 FORDHAM BLVD. SERVICE RD.
 (536' OF R/W x .60=322' REQUIRED BUILDING FACADE IN THE BTZ; 400' PROVIDED)

PROPOSED COLLECTOR STREET
 (946.5 OF R/W x .80=758' REQUIRED BUILDING FACADE IN THE BTZ; 596' PROVIDED)

LEGION ROAD
 (250' OF R/W x .60=150' REQUIRED BUILDING FACADE IN THE BTZ; 227' PROVIDED)

AREA: NLA = 246,769 SF; GLA = 314,712 SF

PROPOSED DISTURBED AREA = 324,957 SF

IMPERVIOUS SURFACE AREA: 165,639 (EXISTING); 213,670 SF (PROPOSED)

OUTDOOR AMENITY SPACE: 14,807 SF REQUIRED; 18,304 SF PROVIDED

ACTIVE RECREATION AREA SPACE: 37,766 SF (REQUIRED); 20,293 SF (PROVIDED) + 50% AS FEE-IN LIEU

PROPOSED FLOOR AREA = 400,411 SF

PROPOSED TOTAL # UNITS = 328

REQUIRED PARKING:	1 BEDROOM UNITS - 227	227 SPACES REQUIRED
	2 BEDROOM UNITS - 78	98 SPACES REQUIRED
	3 BEDROOM UNITS - 23	35 SPACES REQUIRED
	OVERALL	360 SPACES REQUIRED

PROPOSED VEHICLE PARKING: BUILDING 1 PARKING DECK (355 SPACES INCL. 12 H/C SPACES)
 BUILDING 2 PODIUM PARKING LEVEL (60 SPACES INCL. 3 H/C SPACES)
 BUILDING 2 SURFACE LOT (38 SPACES INCL. 6 H/C SPACES)
 453 TOTAL TENANT SPACES

* THERE ARE AN ADDITIONAL 18 PUBLIC PARALLEL SPACES LOCATED IN THE NEW STREET RIGHT-OF-WAY.

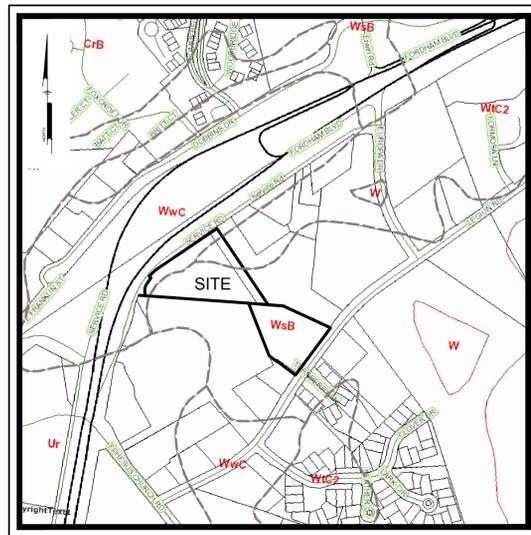
PROPOSED BICYCLE PARKING = 179 LONG-TERM + 40 SHORT-TERM = 219 TOTAL BIKE PARKING.

HILLSTONE CHAPEL HILL ZONING COMPLIANCE PERMIT SITE PLAN DRAWINGS

**TOWN OF CHAPEL HILL, ORANGE COUNTY, NORTH CAROLINA
 2018-02-02**

PREPARED FOR:
OWNER/DEVELOPER
LEON CAPITAL GROUP
 5970 FAIRVIEW ROAD, SUITE 450
 CHARLOTTE, NORTH CAROLINA 28210

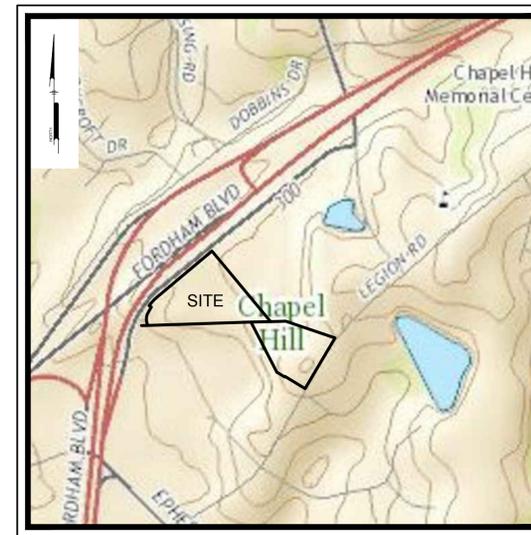
SHEET LIST TABLE				
SHEET	PAGE	DESCRIPTION	DATE SUBMITTED	DATE REVISED
CS0001	1	COVER SHEET	12/7/2016	2/2/2018
CS0002	2	GENERAL NOTES AND LEGEND	12/7/2016	2/2/2018
CS0201	3	EXISTING CONDITIONS PLAN	12/7/2016	2/2/2018
CS0500	4	CONSTRUCTION MANAGEMENT PLAN	12/7/2016	2/2/2018
CS0501	5	DEMOLITION PLAN	12/7/2016	2/2/2018
CS1001	6	OVERALL SITE PLAN	12/7/2016	2/2/2018
CS1002	7	SITE PLAN	12/7/2016	2/2/2018
CS1003	8	SITE PLAN	12/7/2016	2/2/2018
CS1501	9	GRADING PLAN	12/7/2016	2/2/2018
CS1502	10	GRADING PLAN	12/7/2016	2/2/2018
CS1701	11	UTILITY PLAN	12/7/2016	2/2/2018
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SL1	13a	LIGHTING PLAN	12/7/2016	2/2/2018
SL2	13b	LIGHTING PLAN	12/7/2016	2/2/2018
SL3	13c	LIGHTING CUT SHEETS	12/7/2016	8/7/2017
SL4	13d	LIGHTING CUT SHEETS	12/7/2016	8/7/2017
CS2701	14	LEGION ROAD WIDENING PLAN	12/7/2016	2/2/2018
CS2702	15	FORDHAM BLVD. ACCESS ROAD IMPROVEMENTS	7/31/2017	2/2/2018
CS3501	16	PROPOSED ROAD PLAN AND PROFILE	12/7/2016	2/2/2018
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CS3503	18	NEW STREET CROSS SECTIONS	4/7/2017	2/2/2018
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CS3601	20	EASEMENTS AND RIGHT-OF-WAY PLAN	2/29/2017	2/2/2018
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CS6021	22	DRAINAGE DETAILS	12/7/2016	2/2/2018
CS6022	23	UNDERGROUND DETENTION EAST DETAILS	2/20/2017	2/2/2018
CS6023	24	UNDERGROUND DETENTION WEST DETAILS	2/20/2017	2/2/2018
CS6024	25	UNDERGROUND DETENTION WEST DETAILS	2/20/2017	2/2/2018
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CS8001	27	EROSION AND SEDIMENTATION CONTROL PLAN	12/7/2016	2/2/2018
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LP2.1		TREE PROTECTION PLAN		
LP3.1		LANDSCAPE DETAILS AND NOTES		
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LA3.02		LANDSCAPE ARCHITECTURE DETAILS		
LA3.03		LANDSCAPE ARCHITECTURE DETAILS		
LA3.04		LANDSCAPE ARCHITECTURE DETAILS		
LA3.05		LANDSCAPE ARCHITECTURE DETAILS		
LA5.00		COA DESIGN ALTERNATIVE SUMMARY PLAN		
LA5.01		PEDESTRIAN GATEWAY 1 & PEDESTRIAN CONNECTOR 1 LAYOUT PLAN		
LA5.03		PEDESTRIAN GATEWAY 1 & PEDESTRIAN CONNECTOR 1 LANDSCAPE PLAN		
LA5.04		PEDESTRIAN PLAZA LAYOUT PLAN		
LA5.06		PEDESTRIAN PLAZA LANDSCAPE PLAN		
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LA5.09		PEDESTRIAN CONNECTOR 2 LANDSCAPE PLAN		
LA5.10		PEDESTRIAN GATEWAY 2, LEGION RD. & COLLECTOR STREET EAST LAYOUT PLAN		
LA5.12		LEGION RD. & COLLECTOR STREET EAST LANDSCAPE PLAN		
LA5.13		COLLECTOR STREET WEST LAYOUT PLAN		
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LA5.18		FORDHAM BLVD. SERVICE ROAD LANDSCAPE PLAN		
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LA6.03		OUTDOOR AMENITY & RECREATION SPACE PLAN		
GA2.00		BUILDING 1 - BUILDING PLAN - LOWER LEVEL		
GA2.01		BUILDING 1 - BUILDING PLAN - LEVEL 1		
GA13.01		BUILDING 1 - ENLARGED GARAGE PLAN - LEVEL 1		
GA2.11		BUILDING 2 - BUILDING PLAN - LEVEL 1		
GA2.12		BUILDING 2 - BUILDING PLAN - LEVEL 2		
GA3.00		BUILDING 1 & 2 ELEVATIONS - TRANSPARENCY CALCULATIONS		
GA3.01a		BUILDING 1 ELEVATIONS		
GA3.01b		BUILDING 1 ELEVATIONS - ACCENT MATERIAL CALCULATIONS		
GA3.02a		BUILDING 2 ELEVATIONS		
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GA3.03		BUILDING 1 & 2 SECTION DIAGRAMS		



SOILS MAP
 Scale: 1" = 500'



LOCATION MAP
 1" = 3000'



USGS MAP
 Scale: 1" = 500'

PREPARED BY:
PENNONI ASSOCIATES INC.



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Firm License
 F-1267



ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

HILLSTONE CHAPEL HILL
 1000 & 2000 NOVIUS LANE
 CHAPEL HILL, NORTH CAROLINA 27514

COVER SHEET

LEON CAPITAL GROUP
 5970 FAIRVIEW ROAD, SUITE 450
 CHARLOTTE, NORTH CAROLINA 28210

JOB	JOB	TAS	WRA	WRA	WRA	WRA	BY
2/2/2018	7	REVIEW COMMENT FINAL COORDINATION					
1/29/2017	6	FINAL ARCHITECTURAL COORDINATION					
9/25/2017	5	TOWN COMMENT REVISIONS REVIEW #5					
7/31/2017	4	TOWN COMMENT REVISIONS REVIEW #4					
6/15/2017	3	TOWN COMMENT REVISIONS REVIEW #3					
4/7/2017	2	TOWN COMMENT REVISIONS REVIEW #2					
2/20/2017	1	REVISIONS AS PER TOWN'S REVIEW COMMENTS					
DATE	NO.	REVISIONS					

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATE. AND OWNER SHALL HOLD PENNONI ASSOCIATES HARMLESS FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

PROJECT: **LCGR1602**
 DATE: **DECEMBER 7, 2016**
 DRAWING SCALE: **AS NOTED**
 DRAWN BY: **WRA**
 APPROVED BY: **JUB**

CS0001

P:\Projects\0502018\LCGR1602\Drawings\SitePlan\CS0001_Pub\CS0001.dwg
 PROJECT STATUS: DESIGN DEVELOPMENT
 PLOTTED: 2/20/2018 4:34 PM BY: Donald Chisholm
 FORTIFIED: 2/20/2018 4:34 PM BY: Donald Chisholm



LEGEND		
EXISTING	PROPOSED	DESCRIPTION
		CABLE TV, JUNCTION BOX
		CABLE TV, MANHOLE
		CABLE TV, OVERHEAD
		CABLE TV, PANEL BOX
		CABLE TV, PEDESTAL
		CABLE TV, STUB OUT
		CABLE TV, UNDERGROUND
		CABLE TV, WITNESS POST
		CHANNEL
		COMMUNICATION, HANDHOLE
		COMMUNICATION, JUNCTION BOX
		COMMUNICATION, MANHOLE
		COMMUNICATION, OVERHEAD
		COMMUNICATION, PANEL BOX
		COMMUNICATION, PEDESTAL
		COMMUNICATION, STUB OUT
		COMMUNICATION, UNDERGROUND
		COMMUNICATION, WITNESS POST
		CONTROL, BENCHMARK
		CONTROL, GPS
		CONTROL, MAPPING
		CONTROL, REFERENCE
		CONTROL, TRAVERSE
		CURB
		CURB DEPRESSION
		EDGE OF PAVEMENT
		EDGE OF GRAVEL
		EASEMENT
		FENCE
		FIBER OPTIC, HANDHOLE
		FIBER OPTIC, JUNCTION BOX
		FIBER OPTIC, MANHOLE
		FIBER OPTIC, OVERHEAD
		FIBER OPTIC, PANEL BOX
		FIBER OPTIC, PEDESTAL
		FIBER OPTIC, STUB OUT
		FIBER OPTIC, UNDERGROUND
		FIBER OPTIC, WITNESS POST
		FLOODPLAIN
		FUEL, MANHOLE
		FUEL, OVERHEAD
		FUEL, PLUG
		FUEL, PUMP
		FUEL, UNDERGROUND
		GUIDE RAIL
		LIMITS OF DISTURBANCE
		MARKING, HANDICAP PARKING
		NATURAL GAS, METER
		NATURAL GAS, MANHOLE
		NATURAL GAS, OVERHEAD
		NATURAL GAS, STUB OUT
		NATURAL GAS, UNDERGROUND
		NATURAL GAS, WITNESS POST
		PHONE, JUNCTION BOX
		PHONE, MANHOLE
		PHONE, OVERHEAD
		PHONE, PEDESTAL
		PHONE, STUB OUT
		PHONE, UNDERGROUND
		PHONE, WITNESS POST
		POWER, GUY POLE
		POWER, GUY WIRE
		POWER, HANDHOLE
		POWER, JUNCTION BOX
		POWER, SINGLE HEAD LIGHT
		POWER, DOUBLE HEAD LIGHT
		POWER, THREE HEAD LIGHT
		POWER, FOUR HEAD LIGHT
		POWER, LIGHT
		POWER, SPOT LIGHT
		POWER, LIGHT POLE SINGLE
		POWER, LIGHT POLE DOUBLE
		POWER, MANHOLE
		POWER, OVERHEAD
		POWER, METER
		POWER, PANEL BOX
		POWER, PEDESTAL
		POWER, STUB OUT
		POWER, TRANSFORMER
		POWER, UNDERGROUND
		POWER, UTILITY POLE
		POWER, WITNESS POST
		POWER, YARD LIGHT
		PROPERTY, LINE
		LEGAL RIGHT-OF-WAY
		PROPERTY, CORNER FOUND
		PROPERTY, CORNER FOUND (OTHERS)
		PROPERTY, CONCRETE MONUMENT
		PROPERTY, ADJOINING LINE
		PROPERTY, LINE RESERVED
		RAIL, MILE MARKER
		RAIL, PANEL BOX
		RAIL, TRACK
		SITE, AIR COMPRESSOR
		SITE, AIR CONDITIONER
		SITE, BOLLARD
		SITE, BORING LOCATION
		BUILDING
		SITE, FLAG POLE
		SITE, HEAD STONE
		SITE, MAIL BOX
		SITE, MONITOR WELL
		SITE, PARKING METER
		SITE, POST
		SITE, SIGN POST AND BOARD
		SITE, TRAFFIC SIGN
		SOIL BOUNDARY
		SOIL LABEL

GENERAL NOTES:

- APPLICANT: LEON CAPITAL GROUP, LLC, 5970 FAIRVIEW ROAD, SUITE 200, CHARLOTTE, NORTH CAROLINA 28212. RESPONSIBLE OFFICER: BLAKE SCHROEDER.
- EXISTING TOPOGRAPHIC FEATURES WERE TAKEN FROM A TOPOGRAPHIC SURVEY PLAN PROVIDED BY PHILIP POST & ASSOC., DATED 6/03/2016.
- EXISTING CROSS SECTIONS OF LEGION ROAD WERE TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY PENNONI ON MARCH 9, 2017.
- EXISTING SUBSURFACE CONDITIONS WERE TAKEN FROM "REPORT OF SUBSURFACE INVESTIGATION" REPORT PERFORMED BY GEOTECHNOLOGIES, INC. DATED AUGUST 23, 2016.
- ENVIRONMENTAL SITE ASSESSMENT PERFORMED BY WITHERSRAVEL, DATED FEBRUARY 24, 2016, AND PHASE II ENVIRONMENTAL SITE ASSESSMENT, PERFORMED BY WITHERSRAVEL, DATED MAY 23, 2016.
- NORTH CAROLINA BROWNFIELDS PROGRAM ENVIRONMENTAL MANAGEMENT PLAN, DRAFTED BY THE JOHN R. McADAMS COMPANY, INC. DATED OCTOBER 27, 2017.

UTILITY NOTES:

- COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH OF UNDERGROUND UTILITIES AND STRUCTURES IS NOT GUARANTEED.
- LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND SHALL BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. SANITARY SEWER AND ALL OTHER UTILITY SERVICE CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN THE FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES SHALL BE REPORTED IMMEDIATELY IN WRITING TO THE ENGINEER. CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. PROPOSED INTERFERING CROSSINGS WITH EXISTING UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL UTILITIES AND SERVICES INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC, ETC. WITHIN THE LIMITS OF DISTURBANCE SHALL BE VERTICALLY AND HORIZONTALLY LOCATED. THE CONTRACTOR SHALL USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION AT NO COST TO THE OWNER.

- AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR ORANGE COUNTY, NC, MAP #310979900, EFFECTIVE DATE 2/22/2007 THE SITE AREA PROPOSED TO BE DEVELOPED LIES WITHIN "ZONE X" DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 100 YEAR FLOOD PLAIN.
- FIRE WATCH: DURING CONSTRUCTION AND DEMOLITION WHERE HOT WORK, MATERIALS SUBJECT TO SPONTANEOUS COMBUSTION, OR OTHER HAZARDOUS CONSTRUCTION OR DEMOLITION IS OCCURRING, THE OWNER OR THEIR DESIGNEE SHALL BE RESPONSIBLE FOR MAINTAINING A FIRE WATCH. THE FIRE WATCH SHALL CONSIST OF AT LEAST ONE PERSON WITH A MEANS OF COMMUNICATING AN ALARM TO 911. SHALL A WRITTEN ADDRESS POSTED IN A CONSPICUOUS LOCATION AND SHALL MAINTAIN CONSTANT PATROLS. NC FPC 2012 SECTION 1404.
- CONSTRUCTION/DEMOLITION: ALL CONSTRUCTION AND DEMOLITION CONDUCTED SHALL BE IN COMPLIANCE OF THE CURRENT EDITION OF CHAPTER 14 OF THE NC FPC.
- PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY APPLICANT SHALL REPLACE ANY TREES SHOWN AND PRESERVE SPECIFIC PAY ITEMS IN THE DETAILED ESTIMATE. PLAN THAT HAVE DIED OR ARE IN POOR HEALTH AS A RESULT OF LAND DISTURBING ACTIVITIES.
- A DEMOLITION PERMIT WILL BE REQUIRED FROM THE TOWN OF CHAPEL HILL PRIOR TO THE REMOVAL OF THE EXISTING BUILDING ON SITE.
- THE SWIMMING POOL WILL REQUIRE APPROVAL FROM ORANGE COUNTY HEALTH DEPARTMENT AT THE TIME OF PERMITTING.
- SITE DISTURBANCE 7.42 AC.
- CURB RADI DIMENSIONS ARE SHOWN TO THE FACE OF CURB WITHIN THE PLAN SET.

EXISTING	PROPOSED	DESCRIPTION
		SANITARY SEWER, CLEAN-OUT
		SANITARY SEWER, FORCE MAIN
		SANITARY SEWER, FORCE MAIN MANHOLE
		SANITARY SEWER, FORCE STUB OUT
		SANITARY SEWER, LATERAL
		SANITARY SEWER, UNDERGROUND (4" DIA TO 10" DIA)
		SANITARY SEWER, SEPTIC TANK
		SANITARY SEWER, STUB OUT
		SANITARY SEWER, VALVE
		SANITARY SEWER, WITNESS POST
		STORM SEWER, INLET
		STORM SEWER, HEADWALL
		STORM SEWER, MANHOLE
		STORM SEWER, UNDERGROUND
		STORM SEWER, DOWNSPOUT LOCATION
		STORM SEWER, ROOF DRAIN LINE
		STORM SEWER, STAND PIPE
		STORM SEWER, CLEAN-OUT
		STORM SEWER, WITNESS POST
		MINOR CONTOUR
		MAJOR CONTOUR
		SPOT ELEVATION
		TO BE REMOVED
		TRAFFIC, PAVEMENT MARKING, BIKE LANE
		TRAFFIC, PAVEMENT MARKING, TURN ARROWS
		TRAFFIC, PAVEMENT MARKING, HOV LANE
		TRAFFIC, HAND HOLE
		TRAFFIC, JUNCTION BOX
		TRAFFIC, MANHOLE
		TRAFFIC, PANEL BOX
		TRAFFIC, PEDESTAL
		TRAFFIC, PEDESTRIAN SIGNAL
		TRAFFIC, SIGNAL POLE
		TRAFFIC, SIGNAL POLE & LIGHT ARM
		TRAFFIC, STUB OUT
		VEGETATION, SHRUB
		VEGETATION, GRASS LINE / LANDSCAPED AREA
		VEGETATION, DECIDUOUS SHOWING CANOPY
		VEGETATION, CONIFEROUS SHOWING CANOPY
		VEGETATION, TREE LINE
		WATER, HOSE BIB
		WATER, FIRE HYDRANT
		WATER, IRRIGATION HEAD
		WATER, IRRIGATION VALVE BOX
		WATER, MANHOLE
		WATER, METER
		WATER, POST INDICATOR VALVE
		WATER, SIAMESE CONNECTION
		WATER, STUB OUT
		WATER, UNDERGROUND
		WATER, UNDERGROUND FIRE
		WATER, VALVE
		WATER, WITNESS POST

GENERAL CONSTRUCTION AND GRADING NOTES:

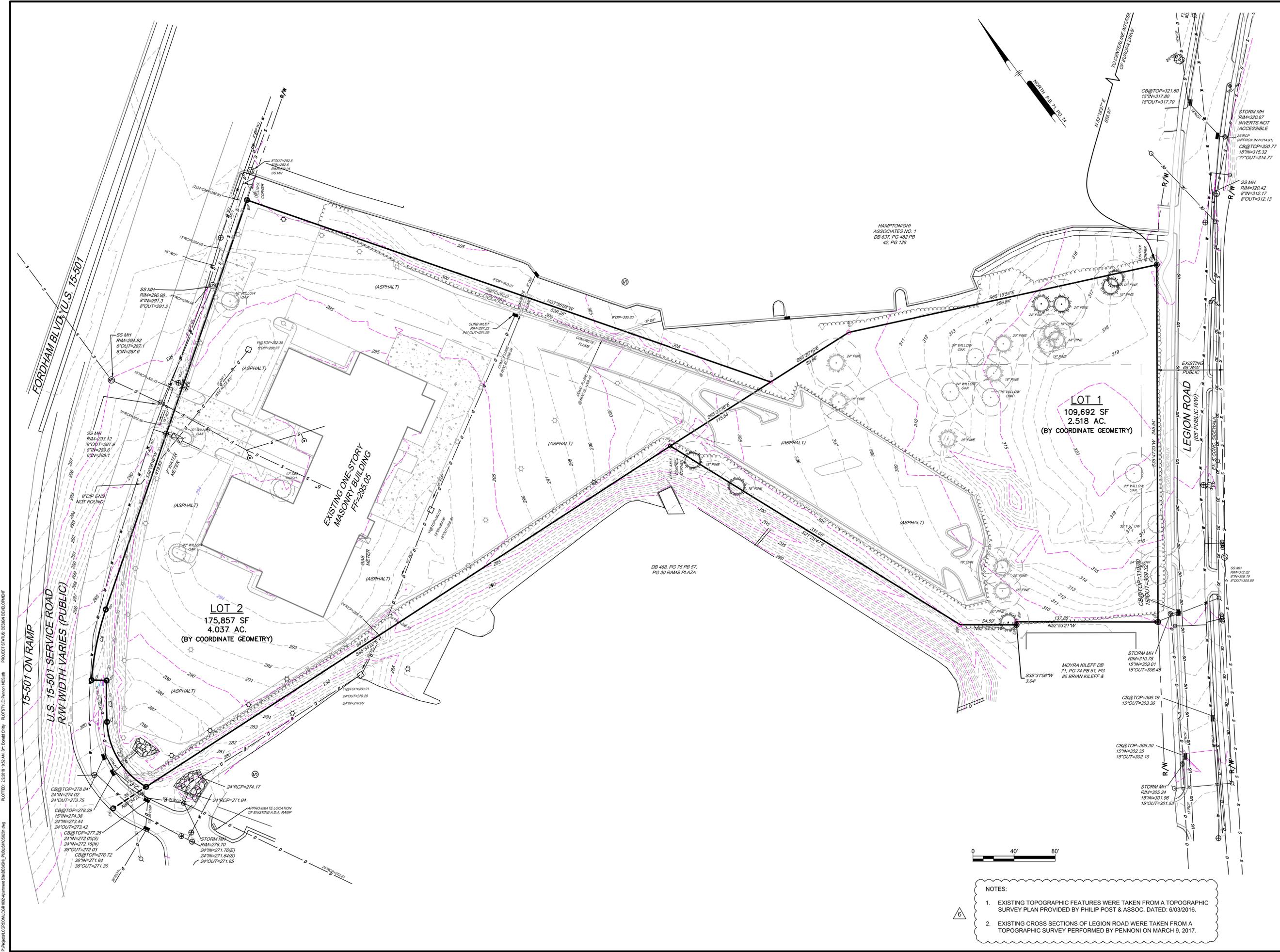
- ALL WORK SHALL COMPLY WITH APPLICABLE STATE, FEDERAL AND LOCAL CODES AND OSHA STANDARDS. ALL NECESSARY LICENSES AND PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE UNLESS PREVIOUSLY OBTAINED BY THE OWNER/DEVELOPER.
- THE CONTRACTOR SHALL BE REQUIRED TO REVIEW AND ABIDE BY SPECIFICATIONS OF THE PLAN AND ALL SUPPORTING DOCUMENTS, PERMITS, AND REPORTS FOR THIS SITE, INCLUDING BUT NOT LIMITED TO:
 - EROSION AND SEDIMENTATION CONTROL PLAN
 - STORMWATER MANAGEMENT PLAN
- THE CONTRACTOR SHALL IMMEDIATELY INFORM THE ENGINEER OF ANY DISCREPANCIES OR ERROR THEY DISCOVER IN THE PLANS.
- DEVIATION FROM THESE PLANS AND NOTES WITHOUT THE PRIOR CONSENT OF THE OWNER OR HIS REPRESENTATIVE OR THE ENGINEER MAY BE CAUSE OF THE WORK TO BE UNACCEPTABLE.
- UTILITY COORDINATION SHALL BE INCLUDED IN THE PROJECT SCHEDULE AND IT IS THE EXPLICIT RESPONSIBILITY OF THE CONTRACTOR TO ASSURE THAT THE PROJECT SCHEDULE INCLUDES THE NECESSARY RELOCATIONS. THE CONTRACTOR WILL NOT BE PAID ADDITIONALLY FOR THIS COORDINATION. THE CONTRACTOR SHOULD SEEK ASSISTANCE FROM ALL UTILITY COMPANIES TO LOCATE AND PROTECT THEIR FACILITIES. IF CONFLICTS ARE FOUND, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND DESIGN ENGINEER FOR INSTRUCTION BEFORE PROCEEDING WITH WORK.
- ALL MATERIALS SHALL BE NEW UNLESS USED OR SALVAGED MATERIALS ARE AUTHORIZED BY THE OWNER AND APPLICANT.
- TRAFFIC CONTROL METHODS, SUCH AS BARRICADES, SUFFICIENT LIGHTS, SIGNS, ETC., MAY BE NECESSARY FOR THE PROTECTION AND SAFETY OF THE PUBLIC SHALL BE PROVIDED AND MAINTAINED THROUGHOUT THE CONSTRUCTION IN ACCORDANCE WITH CURRENT AND NC DOT STANDARDS.
- CONTRACTOR SHALL FURNISH AND MAINTAIN ALL NECESSARY BARRICADES, FENCING AND OTHER APPROPRIATE SAFETY ITEMS/MEASURES NECESSARY TO PROTECT THE PUBLIC FROM THE WORK AREA CONSTRUCTION ACTIVITIES.
- HIGH INTENSITY LIGHTING FACILITIES SHALL BE SO ARRANGED THAT THE SOURCE OF ANY LIGHT IS CONCEALED FROM PUBLIC VIEW AND FROM ADJACENT RESIDENTIAL PROPERTY AND DOES NOT INTERFERE WITH TRAFFIC.
- THE CONTRACTOR SHALL MAINTAIN ACCESS FOR EMERGENCY VEHICLES AROUND AND TO ALL BUILDINGS NEAR CONSTRUCTION. IN TIME OF RAIN OR MUD, ROADS SHALL BE ABLE TO CARRY A FIRE TRUCK BY BEING PAVED OR HAVING A CRUSHED STONE BASE, ETC., WITH A MINIMUM WIDTH OF 20 FEET. ACCESS TO BUILDINGS THAT HAVE SPRINKLER OR STANDPIPE SYSTEMS SHALL BE WITHIN 40 FEET OF THE FIRE DEPARTMENT CONNECTOR. (NFPA 1141 3-1)
- BEDDING REQUIREMENTS SPECIFIED HEREIN ARE TO BE CONSIDERED AS MINIMUMS FOR RELATIVELY DRY, STABLE EARTH CONDITIONS. ADDITIONALLY BEDDING SHALL BE REQUIRED FOR ROCK TRENCHES AND WET AREAS. CONTRACTOR SHALL HAVE THE RESPONSIBILITY TO PROVIDE SUCH ADDITIONAL BEDDING AS MAY BE REQUIRED TO PROPERLY CONSTRUCT THE WORK.
- BACKFILL OF ALL TRENCHES SHALL BE COMPACTED TO THE DENSITY OF 95% OF THEORETICAL MAXIMUM DRY DENSITY (ASTM D698). BACKFILL MATERIAL SHALL BE FREE FROM ROOTS, STUMPS, OR OTHER FOREIGN DEBRIS AND SHALL BE PLACED IN LAYERS NOT TO EXCEED SIX (6) INCHES IN COMPACTED FILL THICKNESS. A REPORT FROM A GEOTECHNICAL ENGINEER MAY BE REQUIRED BY THE PUBLIC WORKS INSPECTOR. CORRECTION OF ANY TRENCH SETTLEMENT WITHIN A YEAR FROM THE DATE OF APPROVAL WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR WILL ENSURE THAT POSITIVE AND ADEQUATE DRAINAGE IS MAINTAINED AT ALL TIMES WITHIN THE PROJECT LIMITS. THIS MAY INCLUDE BUT NOT BE LIMITED TO: A) REPLACEMENT OR RECONSTRUCTION OF EXISTING DRAINAGE STRUCTURES THAT HAVE BEEN DAMAGED OR REMOVED, OR B) REGRADING AS REQUIRED BY THE ENGINEER, EXCEPT FOR THOSE DRAINAGE ITEMS SHOWN AT SPECIFIC LOCATIONS AND HAVING SPECIFIC PAY ITEMS IN THE DETAILED ESTIMATE. NO SEPARATE PAYMENT WILL BE MADE FOR ANY COSTS INCURRED TO COMPLY WITH THIS REQUIREMENT.
- THE CONTRACTOR SHALL PROVIDE ANY AND ALL EXCAVATION AND MATERIAL SAMPLES NECESSARY TO CONDUCT REQUIRED SOIL TESTS. ALL ARRANGEMENTS AND SCHEDULING FOR THE TESTING SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- SOIL TESTING AND ON-SITE INSPECTION SHALL BE PERFORMED BY AN INDEPENDENT GEOTECHNICAL ENGINEER. A GEOTECHNICAL ENGINEER IS REQUIRED TO INSPECT, TEST AND CERTIFY TO THE COMPACTED OF ALL LOAD BEARING FILLS. THE GEOTECHNICAL ENGINEER SHALL PROVIDE COPIES OF TEST REPORTS TO THE CONTRACTOR, THE OWNER AND TO THE OWNER'S REPRESENTATIVE AND SHALL PROMPTLY NOTIFY THE OWNER, HIS REPRESENTATIVE AND THE CONTRACTOR, SHOULD WORK PERFORMED BY THE CONTRACTOR FAIL TO MEET THESE SPECIFICATIONS.
- ALL PERMITS MUST BE OBTAINED PRIOR TO THE START OF CONSTRUCTION.
- ALL PAVEMENT MARKINGS AND REGULATORY SIGNS ON PRIVATE PROPERTY SHALL CONFORM TO CURRENT MUTCD STANDARDS.

WATER AND SEWER SERVICE NOTES:

- HORIZONTAL AND VERTICAL SEPARATION**
 - SANITARY SEWERS SHALL BE LAID AT LEAST 10-FOOT HORIZONTALLY FROM ANY EXISTING OR PROPOSED WATER MAIN. THE DISTANCE SHALL BE MEASURED EDGE TO EDGE. IN CASES WHERE IT IS NOT PRACTICAL TO MAINTAIN A 10-FOOT SEPARATION, THE PUBLIC WORKS SUPPLY MAY ALLOW DEVIATION A CASE-BY-CASE BASIS, IF SUPPORTED BY DATA FROM THE DESIGN ENGINEER. SUCH DEVIATION MAY ALLOW THE INSTALLATION OF THE SANITARY SEWER CLOSER TO A WATER MAIN, PROVIDED THAT THE WATER MAIN IS IN A SEPARATE TRENCH OR ON AN UNDISTURBED EARTH SHELF LOCATED ON ONE SIDE OF THE SANITARY SEWER AND AT AN ELEVATION SO THE BOTTOM OF THE WATER MAIN IS AT LEAST 18-INCHES ABOVE THE TOP OF THE SEWER.
 - IF IT IS IMPOSSIBLE TO OBTAIN PROPER HORIZONTAL AND VERTICAL SEPARATION AS DESCRIBED ABOVE OR ANYTIME THE SANITARY SEWER IS OVER THE WATER MAIN, BOTH THE WATER MAIN AND SANITARY SEWER MUST BE CONSTRUCTED OF FERROUS PIPE COMPLYING WITH THE PUBLIC WATER SUPPLY DESIGN STANDARDS AND BE PRESSURE TESTED TO 150PSI TO ASSURE WATER TIGHTNESS BEFORE BACKFILLING.
 - A 24-INCH VERTICAL AND 18-FOOT HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN STORM SEWER AND SANITARY SEWER LINES OR FERROUS PIPE SPECIFIED. A 18-INCH VERTICAL SEPARATION SHALL BE PROVIDED BETWEEN STORM SEWER AND WATER MAIN.
 - IF A 18-INCH VERTICAL SEPARATION IS NOT MAINTAINED AT A CROSSING BETWEEN STORM SEWER AND WATER MAINS (OR PRESSURE SEWERS), THE WATER MAIN SHALL BE CONSTRUCTED OF FERROUS PIPE AND A CONCRETE COLLAR SHALL BE POURED AROUND WATER MAINS AND STORM SEWER TO IMMOBILIZE THE CROSSING.
- CROSSINGS**
 - SANITARY SEWER CROSSING WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 24 INCHES BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF THE SANITARY SEWER. THE CROSSING SHALL BE ARRANGED SO THAT THE SANITARY SEWER JOINTS WILL BE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE WATER MAIN JOINTS.
 - WHEN IT IS IMPOSSIBLE TO OBTAIN PROPER HORIZONTAL AND VERTICAL SEPARATION AS STIPULATED ABOVE, ONE OF THE FOLLOWING METHODS MUST BE SPECIFIED:
 - THE SANITARY SEWER SHALL BE DESIGNED AND CONSTRUCTED OF FERROUS PIPE AND SHALL BE PRESSURE TESTED AT 150-PSI TO ASSURE WATER TIGHTNESS PRIOR TO BACKFILLING, OR
 - EITHER THE WATER MAIN OR THE SANITARY SEWER LINE MAY BE ENCASED IN A WATER TIGHT CARRIER PIPE, WHICH EXTENDS 10-FEET ON BOTH SIDES OF THE CROSSING, MEASURED PERPENDICULAR TO THE WATER MAIN, THE CARRIER PIPE SHALL BE OF MATERIALS APPROVED BY THE PUBLIC WATER SUPPLY FOR USE IN WATER MAIN CONSTRUCTION.

GENERAL UTILITY NOTES:

- ALL UTILITIES AND SERVICES INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC, ETC. WITHIN THE LIMITS OF DISTURBANCE SHALL BE VERTICALLY AND HORIZONTALLY LOCATED. THE CONTRACTOR SHALL USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION AT NO COST TO THE OWNER.
- UTILITY COORDINATION SHALL BE INCLUDED IN THE PROJECT SCHEDULE AND IT IS THE EXPLICIT RESPONSIBILITY OF THE CONTRACTOR TO ASSURE THAT THE PROJECT SCHEDULE INCLUDES THE NECESSARY RELOCATIONS. THE CONTRACTOR WILL NOT BE PAID ADDITIONALLY FOR THIS COORDINATION.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE LOCATIONS AND DEPTHS OF ALL EXISTING UNDERGROUND UTILITIES AND STRUCTURES BEFORE THE START OF WORK AND TO TAKE WHATEVER STEPS NECESSARY TO PROVIDE FOR THEIR PROTECTION. THE ENGINEER HAS DILIGENTLY ATTENDED TO LOCATE AND INDICATE ALL EXISTING FACILITIES ON THESE PLANS; HOWEVER, THIS INFORMATION IS SHOWN FOR THE CONTRACTOR'S CONVENIENCE ONLY. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS OF UTILITIES SHOWN OR NOT SHOWN. COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH OF UNDERGROUND UTILITIES AND STRUCTURES IS NOT GUARANTEED.
- THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES FOR EXACT LOCATION AND PROTECTION OF THEIR UTILITIES PRIOR TO STARTING CONSTRUCTION. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR AND REPLACE ANY AND ALL DAMAGE MADE TO UTILITIES BY THE CONTRACTOR.
- CONTRACTOR MUST APPLY FOR ALL UTILITY CONNECTION APPLICATIONS. CONTRACTOR IS RESPONSIBLE FOR ALL UTILITY CONNECTION FEES FOR CONSTRUCTION. REFER TO COVER SHEET FOR AVAILABLE UTILITY COMPANY LIST.
- CONTRACTOR MUST OBTAIN ANY REQUIRED UTILITY DETAILS FOR RECONNECTION OF EXISTING SERVICE OR NEW SERVICE AND IS RESPONSIBLE FOR THE PROTECTION OF EACH NEW SERVICE PER THE APPROPRIATE UTILITY COMPANY'S SPECIFICATIONS.
- THE CONTRACTOR SHALL COORDINATE LOCATION AND INSTALLATION OF ALL UNDERGROUND UTILITIES AND APPURTENANCES TO MINIMIZE DISTURBANCE TO GRADING, PAVING, AND COMPACTED SUB-GRADE.
- IF CONFLICTS ARE FOUND, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND ENGINEER FOR INSTRUCTION BEFORE PROCEEDING WITH WORK.
- ALL PIPE LENGTHS AND DISTANCES BETWEEN STRUCTURES ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE ALONG A HORIZONTAL PLANE.
- THE CONTRACTOR SHALL PROVIDE ANY AND ALL EXCAVATION AND MATERIAL SAMPLES NECESSARY TO CONDUCT REQUIRED SOIL TESTS. ALL ARRANGEMENTS AND SCHEDULING FOR THE TESTING SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- SOILS TESTING AND ON-SITE INSPECTION SHALL BE PERFORMED BY AN INDEPENDENT GEOTECHNICAL ENGINEER. A GEOTECHNICAL ENGINEER IS REQUIRED TO INSPECT, TEST AND CERTIFY TO THE COMPACTED OF ALL LOAD BEARING FILLS. THE GEOTECHNICAL ENGINEER SHALL PROVIDE COPIES OF TEST REPORTS TO THE CONTRACTOR, THE OWNER AND TO THE OWNER'S REPRESENTATIVE AND SHALL PROMPTLY NOTIFY THE OWNER, HIS REPRESENTATIVE AND THE CONTRACTOR, SHOULD WORK PERFORMED BY THE CONTRACTOR FAIL TO MEET THESE SPECIFICATIONS.
- CONTRACTOR SHALL EXCAVATE ONLY ENOUGH TRENCH FOR WHICH PIPE CAN BE INSTALLED AND TREN



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 Chapel Hill, NC 27514
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ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

HILLSTONE CHAPEL HILL
 10008 EIGHTH AVENUE
 CHAPEL HILL, NORTH CAROLINA 27514

EXISTING CONDITIONS PLAN

LEON CAPITAL GROUP
 5970 FAIRVIEW ROAD, SUITE 450
 CHARLOTTE, NORTH CAROLINA 28210

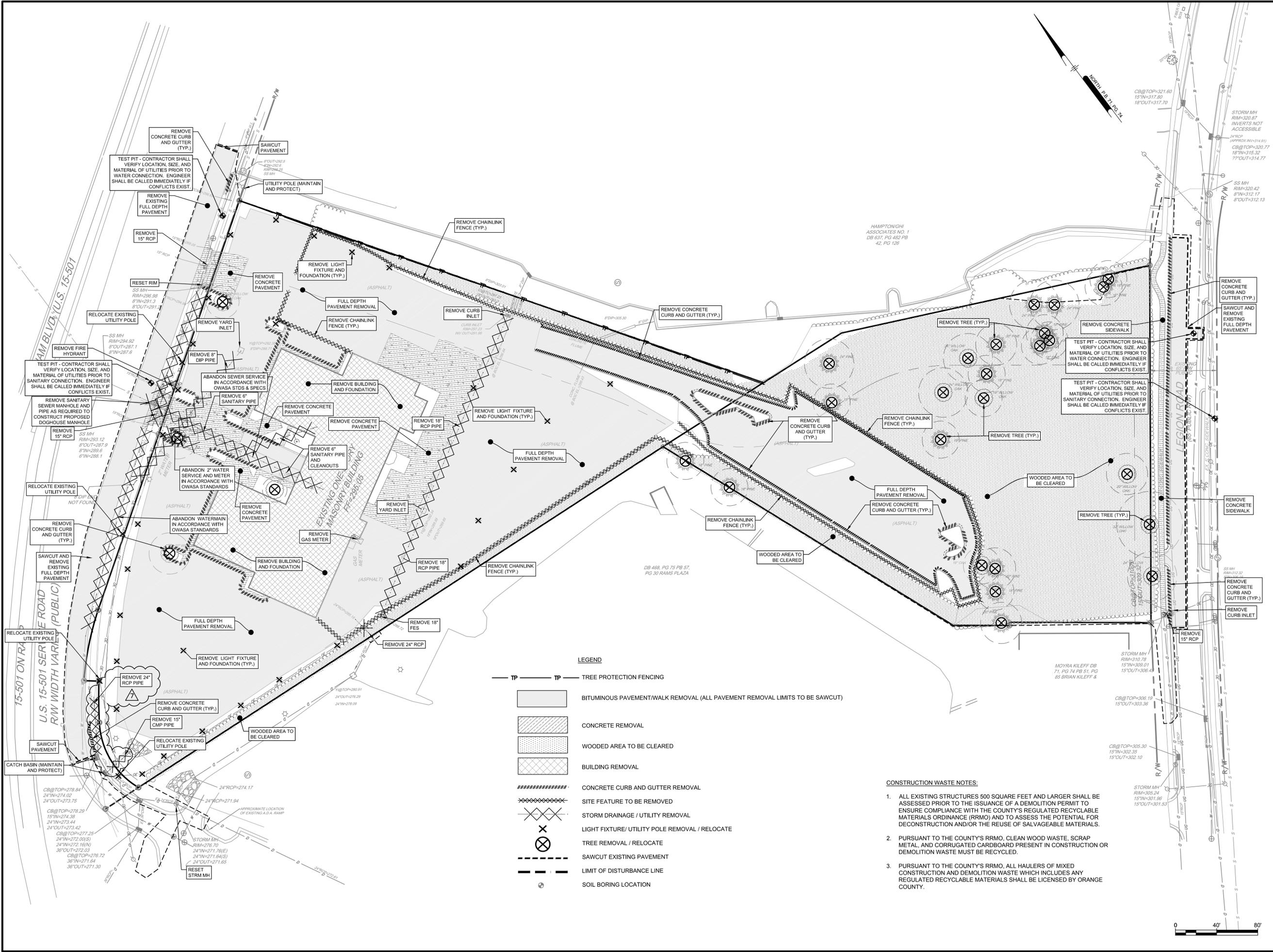
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7	REVIEW COMMENT FINAL COORDINATION					
6	FINAL ARCHITECTURAL COORDINATION					
5	TOWN COMMENT REVISIONS REVIEW #5					
4	TOWN COMMENT REVISIONS REVIEW #4					
3	TOWN COMMENT REVISIONS REVIEW #3					
2	TOWN COMMENT REVISIONS REVIEW #2					
1	REVISIONS AS PER TOWNS REVIEW COMMENTS					
DATE	NO.	REVISIONS				

PROJECT: **LCGR1602**
 DATE: **DECEMBER 7, 2016**
 DRAWING SCALE: **1"=40'**
 DRAWN BY: **WRA**
 APPROVED BY: **JUB**

CS0201
 SHEET 3 OF 28

- NOTES:
- EXISTING TOPOGRAPHIC FEATURES WERE TAKEN FROM A TOPOGRAPHIC SURVEY PLAN PROVIDED BY PHILIP POST & ASSOC. DATED: 6/03/2016.
 - EXISTING CROSS SECTIONS OF LEGION ROAD WERE TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY PENNONI ON MARCH 9, 2017.

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 PLOTTED: 2/28/2018 10:52 AM BY: Doreen Chiu PROJECT STATUS: DESIGN DEVELOPMENT



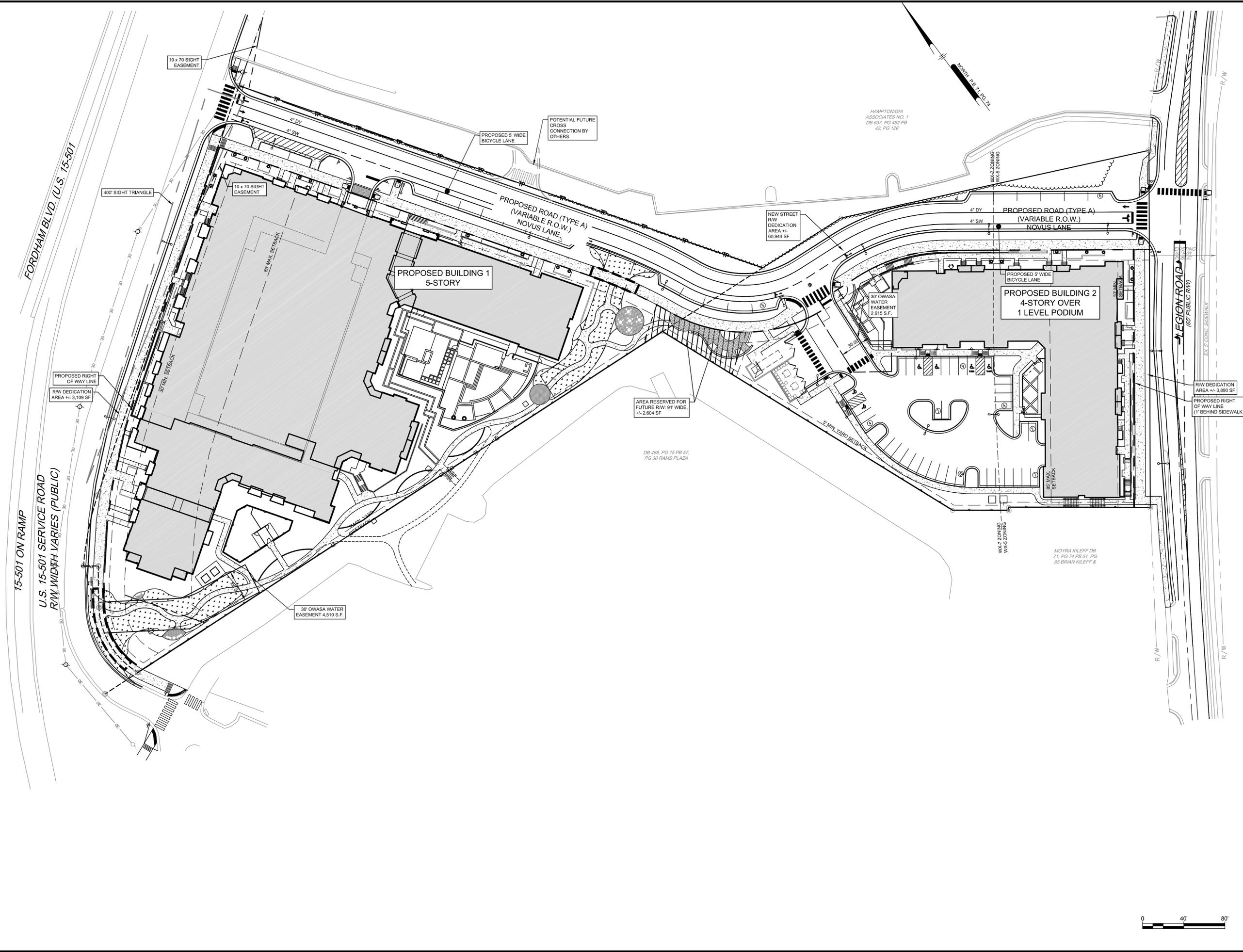
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HILLSTONE CHAPEL HILL
 1000 & 2000 NOVUS LANE
 CHAPEL HILL, NORTH CAROLINA 27514
DEMOLITION PLAN
 LEON CAPITAL GROUP
 5970 FAIRVIEW ROAD, SUITE 450
 CHARLOTTE, NORTH CAROLINA 28210

JOB	REVISION	DATE	BY
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 PROJECT STATUS: DESIGN DEVELOPMENT



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HILLSTONE CHAPEL HILL
 1000 & 2000 NOVUS LANE
 CHAPEL HILL, NORTH CAROLINA 27514
OVERALL SITE PLAN
 LEON CAPITAL GROUP
 5970 FAIRVIEW ROAD, SUITE 450
 CHARLOTTE, NORTH CAROLINA 28210

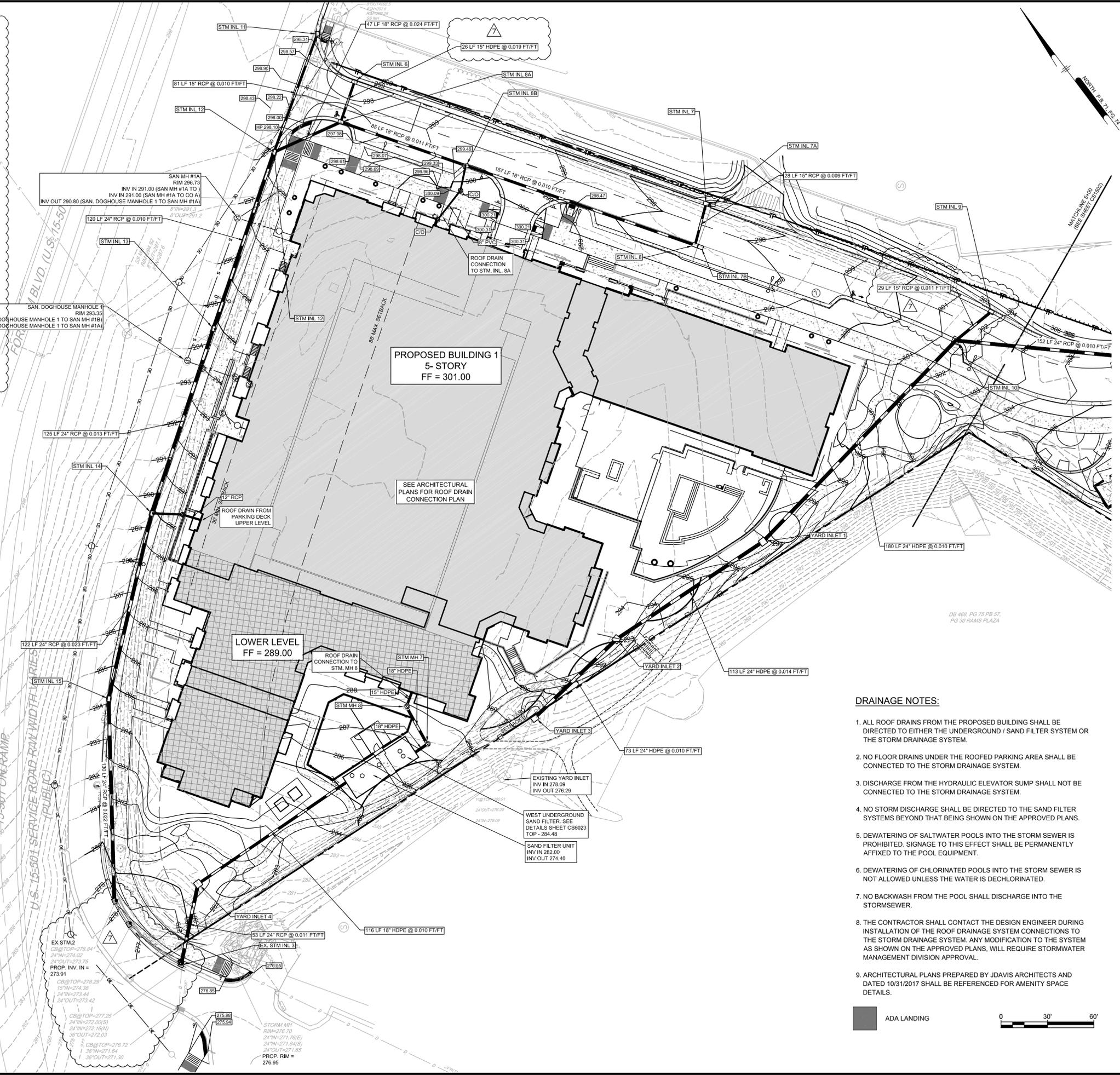
DATE	NO.	REVISIONS	BY
2/2/2016	7	REVIEW COMMENT FINAL COORDINATION	JUB
1/29/2017	6	FINAL ARCHITECTURAL COORDINATION	JUB
9/22/2017	5	TOWN COMMENT REVISIONS REVIEW #5	TAS
7/3/2017	4	TOWN COMMENT REVISIONS REVIEW #4	WRA
6/15/2017	3	TOWN COMMENT REVISIONS REVIEW #3	WRA
4/7/2017	2	TOWN COMMENT REVISIONS REVIEW #2	WRA
2/29/2017	1	REVISIONS AS PER TOWNS REVIEW COMMENTS	WRA

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATE. AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

PROJECT: **LCGR1602**
 DATE: **DECEMBER 7, 2016**
 DRAWING SCALE: **1" = 40'**
 DRAWN BY: **WRA**
 APPROVED BY: **JUB**

12/11/17 HILLSTONE CHAPEL HILL 12/1/16 Revised: 12/22/16, 06/06/17, 06/14/17, 07/28/17, 12/11/17
 Design Storm: 25-YEAR
 Note: Grate elevations are taken from the top of the grate or the flowline.

STRUCTURE	GRATE ELEV.	INV. IN.	PIPE LOOKING DOWNSTREAM			SLOPE	
			INV. IN.	INV. OUT.	LENGTH		
STM INL 1	319.50		315.26	87	15'	1.29%	
STM INL 16	317.75	314.14	313.94	204	15'	2.50%	
STM INL 17	310.98	308.84	306.64	25	15'	1.00%	
EX. MH-1	310.48	308.39	306.45	139	15'	2.95%	
STM INL 2	307.75		303.90	26	15'	1.00%	
STM INL 3	305.96	303.64	303.44	43	18"	1.00%	
STM INL 4	304.75	300.56	300.35	39	15"	1.08%	
STM INL 5	304.75		300.20	22	15"	1.23%	
EAST DETENTION	na		292.80	104	18"	1.08%	
STM MH-6	306.40	303.01	291.49	152	24"	1.01%	
STM INL 9	301.76		298.07	32	15"	1.00%	
STM INL 10	301.34	299.96	299.76	180	24"	0.99%	
YI-1	296.83	297.57	297.77	113	24"	1.39%	
YI-2	292.96	286.20	286.00	73	24"	0.99%	
YI-3	290.67	285.28	285.22	40	24"	17.83%	
EX. YI	280.91	278.09	276.29	185	24"	1.15%	
STM INL 7A	297.57		293.40	1	15"	5.00%	
STM INL 7	297.57	293.35	293.30	28	15"	0.89%	
STM INL 7B	297.57		293.05	1	15"	1.00%	
STM INL 8	297.57	293.05	293.00	157	18"	0.99%	
STM INL 8B	299.37	295.00	291.40	85	18"	1.09%	
STM INL 6	297.71	291.45	290.99	27	15"	1.93%	
STM INL 8A	297.71	290.47	290.27	47	18"	2.45%	
STM INL 11	298.70		294.34	81	15"	1.01%	
STM INL 12	297.93	289.12	285.50	120	24"	1.00%	
STM INL 13	294.38	284.30	284.00	125	24"	1.27%	
STM INL 14	289.44	282.41	282.21	122	24"	2.34%	
STM INL 15	284.13	279.35	276.77	130	24"	2.20%	
EX. STM INL 2	276.34	273.91	273.75	18	24"	1.72%	
EX. STM INL 2A	277.79	273.44	273.42	43	30"	2.91%	
STM MH 7	287.91		282.84	28	18"	1.00%	
SRM MH 7	287.25	282.36	282.15	15	18"	1.00%	
WEST SAND FILTER	na		274.40	116	18"	0.95%	
YI-4	280.63	273.30	273.10	53	24"	1.13%	
EX. STM INL 3	276.75	272.50	272.17	272.03	30	36"	1.30%



DRAINAGE NOTES:

- ALL ROOF DRAINS FROM THE PROPOSED BUILDING SHALL BE DIRECTED TO EITHER THE UNDERGROUND / SAND FILTER SYSTEM OR THE STORM DRAINAGE SYSTEM.
- NO FLOOR DRAINS UNDER THE ROOFED PARKING AREA SHALL BE CONNECTED TO THE STORM DRAINAGE SYSTEM.
- DISCHARGE FROM THE HYDRAULIC ELEVATOR SUMP SHALL NOT BE CONNECTED TO THE STORM DRAINAGE SYSTEM.
- NO STORM DISCHARGE SHALL BE DIRECTED TO THE SAND FILTER SYSTEMS BEYOND THAT BEING SHOWN ON THE APPROVED PLANS.
- DEWATERING OF SALTWATER POOLS INTO THE STORM SEWER IS PROHIBITED. SIGNAGE TO THIS EFFECT SHALL BE PERMANENTLY AFFIXED TO THE POOL EQUIPMENT.
- DEWATERING OF CHLORINATED POOLS INTO THE STORM SEWER IS NOT ALLOWED UNLESS THE WATER IS DECHLORINATED.
- NO BACKWASH FROM THE POOL SHALL DISCHARGE INTO THE STORMSEWER.
- THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER DURING INSTALLATION OF THE ROOF DRAINAGE SYSTEM CONNECTIONS TO THE STORM DRAINAGE SYSTEM. ANY MODIFICATION TO THE SYSTEM AS SHOWN ON THE APPROVED PLANS, WILL REQUIRE STORMWATER MANAGEMENT DIVISION APPROVAL.
- ARCHITECTURAL PLANS PREPARED BY JDAVIS ARCHITECTS AND DATED 10/31/2017 SHALL BE REFERENCED FOR AMENITY SPACE DETAILS.



Pennoni
 Firm License F-287
PENNONI ASSOCIATES, INC.
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HILLSTONE CHAPEL HILL
 1000 & 2000 NOVUS LANE
 CHAPEL HILL, NORTH CAROLINA 27514

GRADING PLAN

LEON CAPITAL GROUP
 5970 FAIRVIEW ROAD, SUITE 450
 CHARLOTTE, NORTH CAROLINA 28210

JOB	NO.	DATE	REVISIONS	BY
22/2016	8		REVIEW COMMENT FINAL COORDINATION	
12/10/2017	7		STORM SEWER REVISION	
20/02/17	6		FINAL ARCHITECTURAL COORDINATION	
			REV/DRAWER	REV/DATE
			REV/TEXT	REV/DATE

PROJECT: **LCGR1602**

DATE: **DECEMBER 7, 2016**

DRAWING SCALE: **1"=30'**

DRAWN BY: **WRA**

APPROVED BY: **JUB**

CS1501

SHEET **9** OF **28**

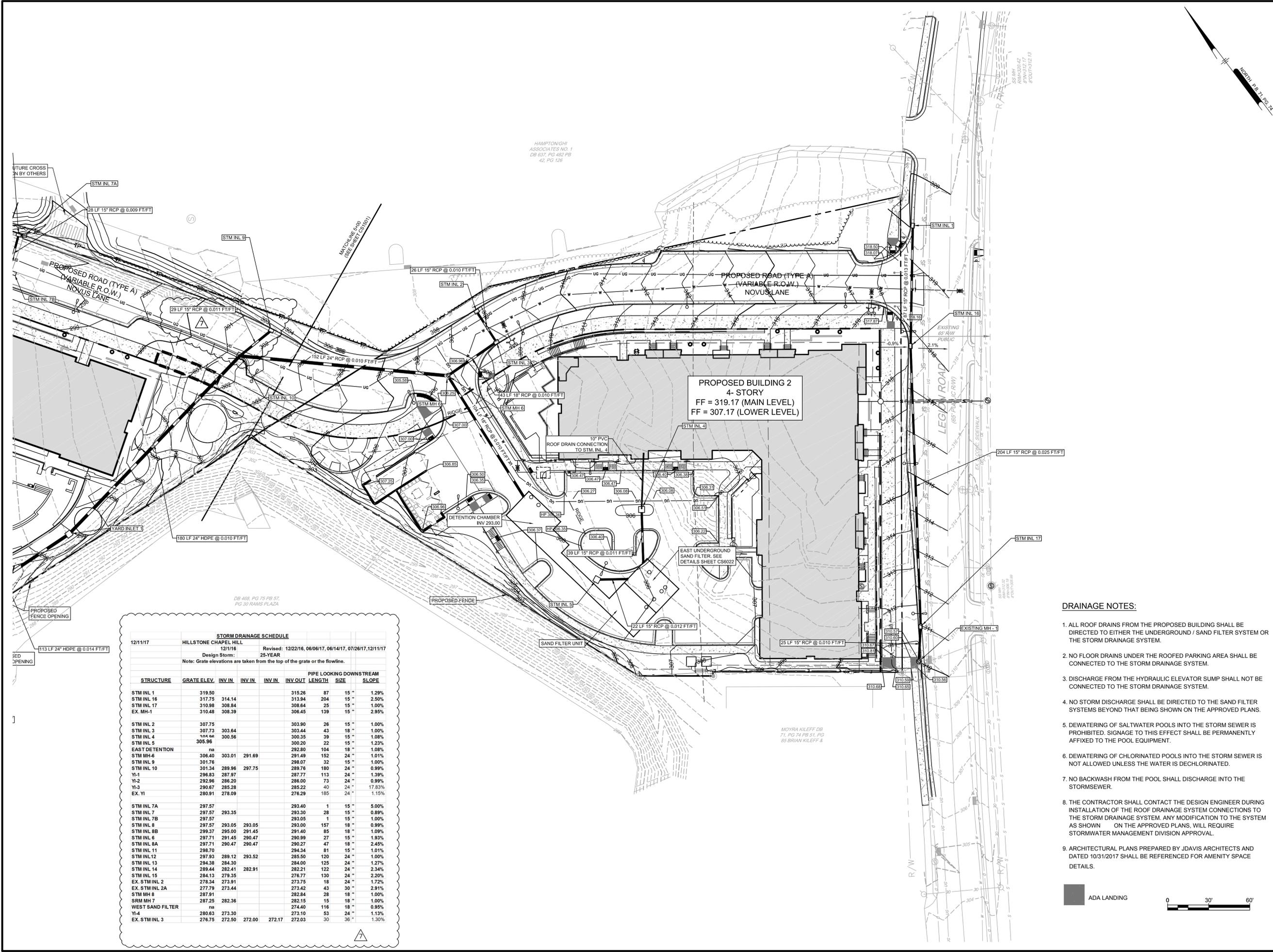
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 PLOTTED: 20/01/2017 11:11 AM BY: Donald Smith
 PROJECT STATUS: DESIGN DEVELOPMENT

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

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GRADING PLAN

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STORM DRAINAGE SCHEDULE

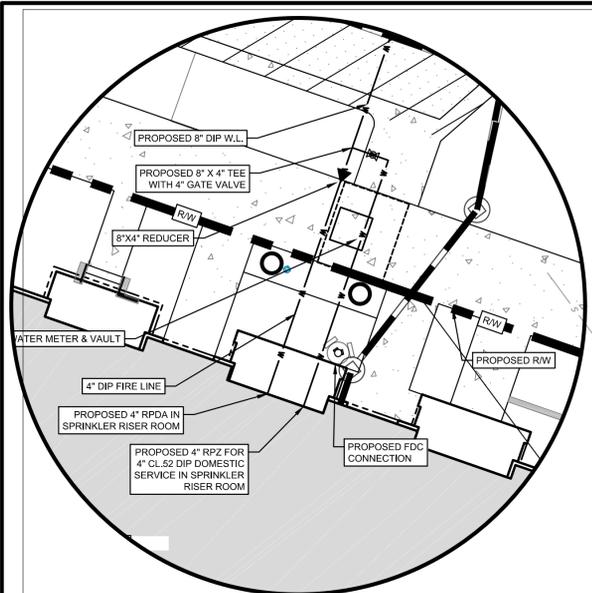
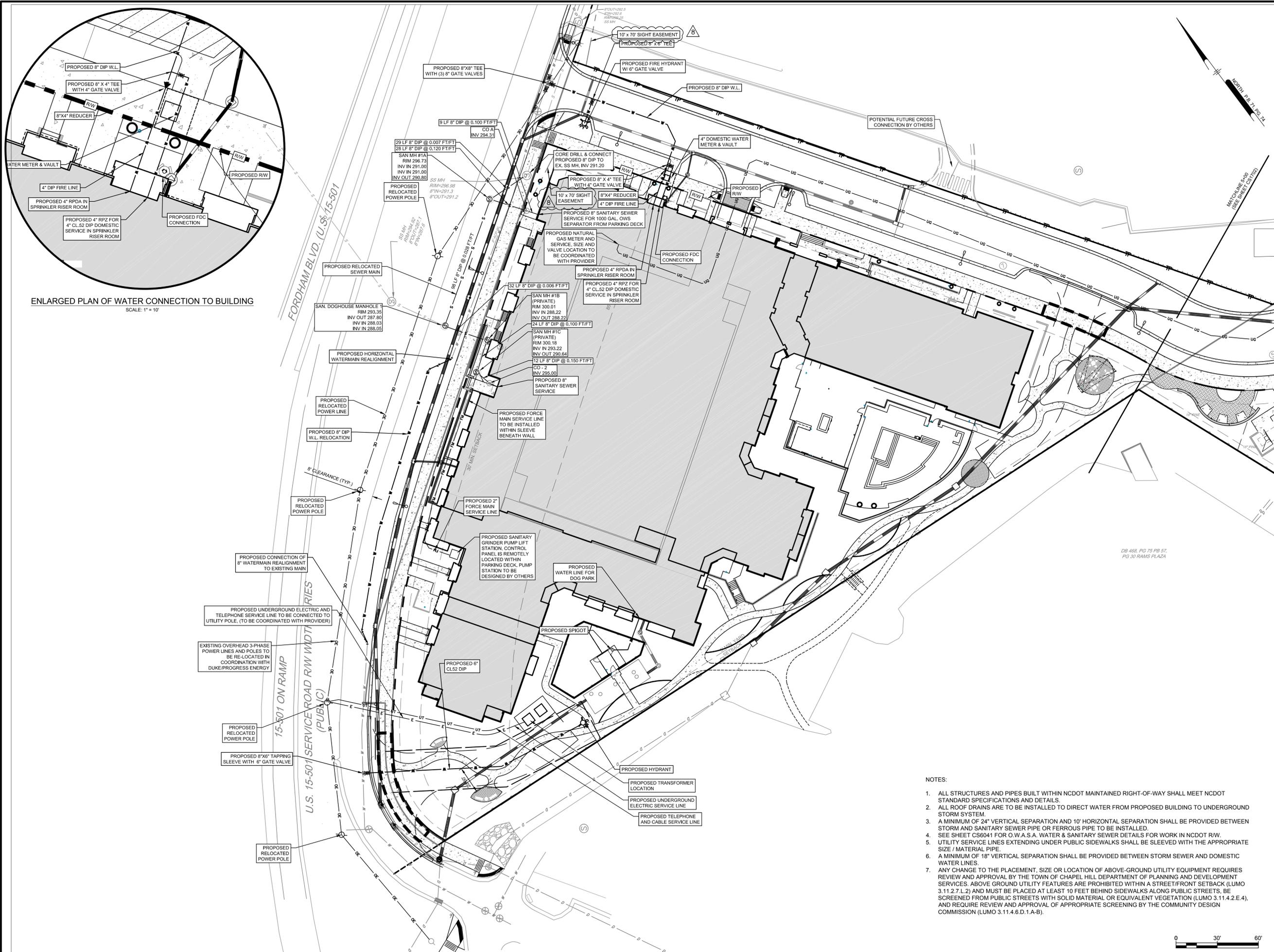
12/11/17 HILLSTONE CHAPEL HILL 12/1/16 Revised: 12/22/16, 08/06/17, 06/14/17, 07/26/17, 12/11/17
 Design Storm: 25-YEAR
 Note: Grate elevations are taken from the top of the grate or the flowline.

STRUCTURE	GRATE ELEV.	INV IN	INV IN	INV IN	INV OUT	LENGTH	SIZE	SLOPE
STM INL 1	319.50				315.26	87	15"	1.29%
STM INL 16	317.75	314.14			313.94	204	15"	2.50%
STM INL 17	310.98	308.84			308.64	25	15"	1.00%
EX. MH-1	310.48	308.39			308.45	139	15"	2.95%
STM INL 2	307.75				303.90	26	15"	1.00%
STM INL 3	307.73	303.64			303.44	43	18"	1.00%
STM INL 4	305.06	300.56			300.35	39	15"	1.08%
STM INL 5	305.96				300.20	22	15"	1.23%
EAST DETENTION	na				292.80	104	18"	1.08%
STM MH 6	306.40	303.01	291.69		291.49	152	24"	1.01%
STM INL 8	301.76				298.07	32	15"	1.00%
STM INL 10	301.34	289.96	297.75		289.76	180	24"	0.99%
YI-1	296.83	287.97			287.77	113	24"	1.39%
YI-2	292.96	286.20			286.00	73	24"	0.99%
YI-3	290.67	285.28			285.22	40	24"	17.83%
EX. YI	290.91	278.09			276.29	185	24"	1.15%
STM INL 7A	297.57				293.40	1	15"	5.00%
STM INL 7	297.57	293.35			293.30	28	15"	0.89%
STM INL 7B	297.57				293.05	1	15"	1.00%
STM INL 8	297.57	293.05	293.05		293.00	187	18"	0.99%
STM INL 8B	299.37	295.00	291.45		291.40	85	18"	1.09%
STM INL 6	297.71	291.45	290.47		290.99	27	15"	1.93%
STM INL 8A	297.71	290.47	290.47		290.27	47	18"	2.45%
STM INL 11	298.70				294.34	81	15"	1.01%
STM INL 12	297.93	288.12	293.52		285.50	120	24"	1.00%
STM INL 13	294.38	284.30			284.00	126	24"	1.27%
STM INL 14	289.44	282.41	282.91		282.21	122	24"	2.34%
STM INL 15	284.13	279.35			276.77	130	24"	2.20%
EX. STM INL 2	278.34	273.91			273.75	18	24"	1.72%
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STM MH 9	287.91				282.84	28	18"	1.00%
SRM MH 7	287.25	282.36			282.15	15	18"	1.00%
WEST SAND FILTER	na				274.40	116	18"	0.95%
YI-4	280.63	273.30			273.10	53	24"	1.13%
EX. STM INL 3	276.75	272.50	272.00	272.17	272.03	30	36"	1.30%

- DRAINAGE NOTES:**
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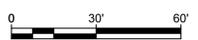


NO.	DATE	REVISIONS	BY
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28	12/15/17	REVISIONS	JUB
29	12/15/17	REVISIONS	JUB
30	12/15/17	REVISIONS	JUB
31	12/15/17	REVISIONS	JUB
32	12/15/17	REVISIONS	JUB
33	12/15/17	REVISIONS	JUB
34	12/15/17	REVISIONS	JUB
35	12/15/17	REVISIONS	JUB
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99	12/15/17	REVISIONS	JUB
100	12/15/17	REVISIONS	JUB



ENLARGED PLAN OF WATER CONNECTION TO BUILDING
SCALE: 1" = 10'

- NOTES:
1. ALL STRUCTURES AND PIPES BUILT WITHIN NCDOT MAINTAINED RIGHT-OF-WAY SHALL MEET NCDOT STANDARD SPECIFICATIONS AND DETAILS.
 2. ALL ROOF DRAINS ARE TO BE INSTALLED TO DIRECT WATER FROM PROPOSED BUILDING TO UNDERGROUND STORM SYSTEM.
 3. A MINIMUM OF 24" VERTICAL SEPARATION AND 10' HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN STORM AND SANITARY SEWER PIPE OR FERROUS PIPE TO BE INSTALLED.
 4. SEE SHEET CS6041 FOR O.W.A.S.A. WATER & SANITARY SEWER DETAILS FOR WORK IN NCDOT R/W.
 5. UTILITY SERVICE LINES EXTENDING UNDER PUBLIC SIDEWALKS SHALL BE SLEEVED WITH THE APPROPRIATE SIZE / MATERIAL PIPE.
 6. A MINIMUM OF 18" VERTICAL SEPARATION SHALL BE PROVIDED BETWEEN STORM SEWER AND DOMESTIC WATER LINES.
 7. ANY CHANGE TO THE PLACEMENT, SIZE OR LOCATION OF ABOVE-GROUND UTILITY EQUIPMENT REQUIRES REVIEW AND APPROVAL BY THE TOWN OF CHAPEL HILL DEPARTMENT OF PLANNING AND DEVELOPMENT SERVICES. ABOVE GROUND UTILITY FEATURES ARE PROHIBITED WITHIN A STREET/FRONT SETBACK (LUMO 3.11.2.7.L.2) AND MUST BE PLACED AT LEAST 10 FEET BEHIND SIDEWALKS ALONG PUBLIC STREETS, BE SCREENED FROM PUBLIC STREETS WITH SOLID MATERIAL OR EQUIVALENT VEGETATION (LUMO 3.11.4.2.E.4), AND REQUIRE REVIEW AND APPROVAL OF APPROPRIATE SCREENING BY THE COMMUNITY DESIGN COMMISSION (LUMO 3.11.4.6.D.1.A-B).



Pennoni
Firm License
F-287

PENNONI ASSOCIATES, INC.
401 Providence Road #200
Chapel Hill, NC 27514
T 919.929.1173 F 919.493.6548

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

HILLSTONE CHAPEL HILL
1000 & 2000 NOVUS LANE
CHAPEL HILL, NORTH CAROLINA 27514

UTILITY PLAN

LEON CAPITAL GROUP
5970 FAIRVIEW ROAD, SUITE 450
CHARLOTTE, NORTH CAROLINA 28210

DATE	NO.	REVISIONS	BY
12/28/16	8	REVIEW COMMENT FINAL COORDINATION	JUB
12/21/2017	7	STORM SEWER REVISION	JUB
11/28/2017	6	FINAL ARCHITECTURAL COORDINATION	JUB
		REV/DATE/REV/NO/REV/TEXT	REV/SBY

PROJECT: **LCGR1602**

DATE: **DECEMBER 7, 2016**

DRAWING SCALE: **1" = 30'**

DRAWN BY: **WRA**

APPROVED BY: **JUB**

CS1701

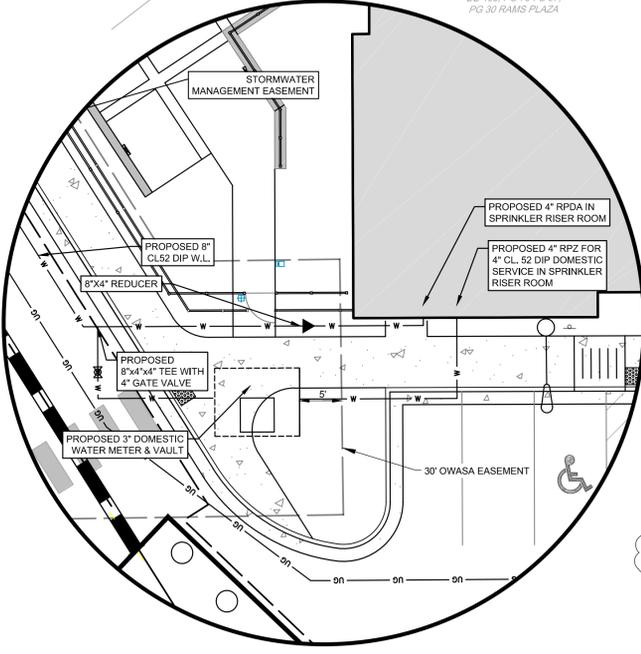
SHEET **11** OF **28**

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 PLOT FILE: P:\Projects\CG0204.dwg
 PROJECT STATUS: DESIGN DEVELOPMENT
 DATE: 2/20/2018 11:58 AM BY: D:\m\k\2018

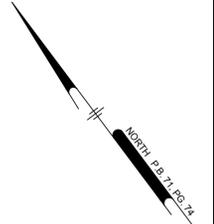
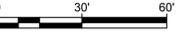
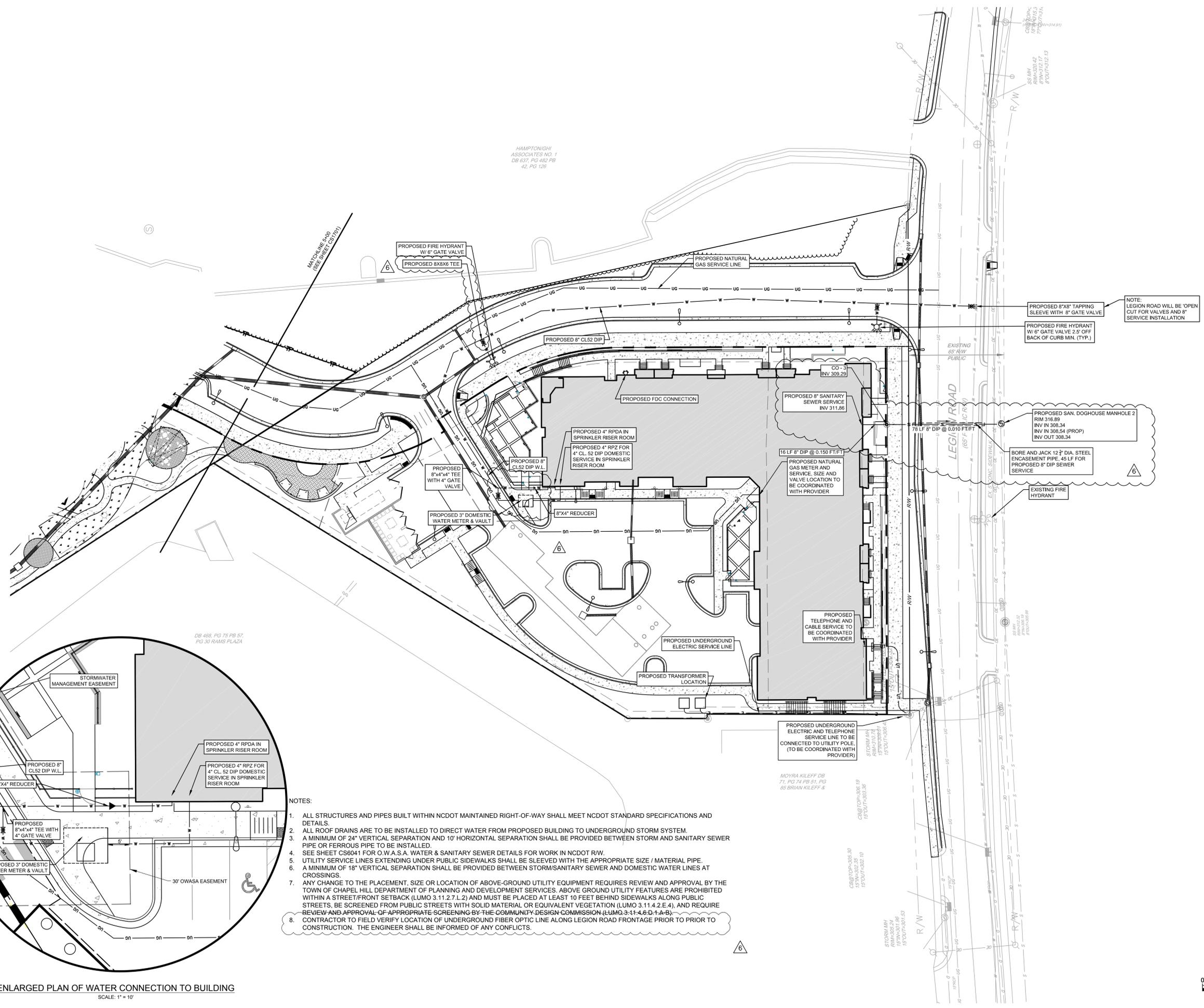
HAMPTON/WHI
 ASSOCIATES NO. 1
 DB 637, PG 482 PB
 42, PG 126

DB 468, PG 75 PB 57,
 PG 30 RAMS PLAZA



- NOTES:
1. ALL STRUCTURES AND PIPES BUILT WITHIN NCDOT MAINTAINED RIGHT-OF-WAY SHALL MEET NCDOT STANDARD SPECIFICATIONS AND DETAILS.
 2. ALL ROOF DRAINS ARE TO BE INSTALLED TO DIRECT WATER FROM PROPOSED BUILDING TO UNDERGROUND STORM SYSTEM.
 3. A MINIMUM OF 24" VERTICAL SEPARATION AND 10' HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN STORM AND SANITARY SEWER PIPE OR FERROUS PIPE TO BE INSTALLED.
 4. SEE SHEET CS0041 FOR O.W.A.S.A. WATER & SANITARY SEWER DETAILS FOR WORK IN NCDOT R/W.
 5. UTILITY SERVICE LINES EXTENDING UNDER PUBLIC SIDEWALKS SHALL BE SLEEVED WITH THE APPROPRIATE SIZE / MATERIAL PIPE.
 6. A MINIMUM OF 18" VERTICAL SEPARATION SHALL BE PROVIDED BETWEEN STORM/SANITARY SEWER AND DOMESTIC WATER LINES AT CROSSINGS.
 7. ANY CHANGE TO THE PLACEMENT, SIZE OR LOCATION OF ABOVE-GROUND UTILITY EQUIPMENT REQUIRES REVIEW AND APPROVAL BY THE TOWN OF CHAPEL HILL DEPARTMENT OF PLANNING AND DEVELOPMENT SERVICES. ABOVE GROUND UTILITY FEATURES ARE PROHIBITED WITHIN A STREET/FRONT SETBACK (LUMO 3.11.2.7.L.2) AND MUST BE PLACED AT LEAST 10 FEET BEHIND SIDEWALKS ALONG PUBLIC STREETS. BE SCREENED FROM PUBLIC STREETS WITH SOLID MATERIAL OR EQUIVALENT VEGETATION (LUMO 3.11.4.2.E.4), AND REQUIRE REVIEW AND APPROVAL OF APPROPRIATE SCREENING BY THE COMMUNITY DESIGN COMMISSION (LUMO 3.11-4.6.D.1-A-B).
 8. CONTRACTOR TO FIELD VERIFY LOCATION OF UNDERGROUND FIBER OPTIC LINE ALONG LEGION ROAD FRONTAGE PRIOR TO CONSTRUCTION. THE ENGINEER SHALL BE INFORMED OF ANY CONFLICTS.

ENLARGED PLAN OF WATER CONNECTION TO BUILDING
SCALE: 1" = 10'



ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR
 AND OWNER MUST BE NOTIFIED OF ANY
 DISCREPANCIES BEFORE PROCEEDING WITH WORK

HILLSTONE CHAPEL HILL

1000 & 2000 NOVUS LANE
 CHAPEL HILL, NORTH CAROLINA 27514

UTILITY PLAN

LEON CAPITAL GROUP
 5870 FAIRVIEW ROAD, SUITE 450
 CHARLOTTE, NORTH CAROLINA 28210

DATE	NO.	REVISIONS	BY
2/20/2018	7	REVIEW COMMENT FINAL COORDINATION	JUB
1/29/2017	6	FINAL ARCHITECTURAL COORDINATION	JUB
9/25/2017	5	TOWN COMMENT REVISIONS REVIEW #5	TAS
7/3/2017	4	TOWN COMMENT REVISIONS REVIEW #4	WRA
6/15/2017	3	TOWN COMMENT REVISIONS REVIEW #3	WRA
4/7/2017	2	TOWN COMMENT REVISIONS REVIEW #2	WRA
2/20/2017	1	REVISIONS AS PER TOWN'S REVIEW COMMENTS	WRA

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 OR ADAPTATION BY PENNONI ASSOCIATES WILL BE AT OWNERS
 SOLE RISK AND WITHOUT LIABILITY OR LEGAL
 EXPOSURE TO PENNONI ASSOCIATES. OWNER AND OWNER
 SHALL INDEMNIFY AND HOLD HARMLESS PENNONI
 ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND
 EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

PROJECT: LCGR1602
 DATE: DECEMBER 7, 2016
 DRAWING SCALE: 1" = 30'
 DRAWN BY: WRA
 APPROVED BY: JUB

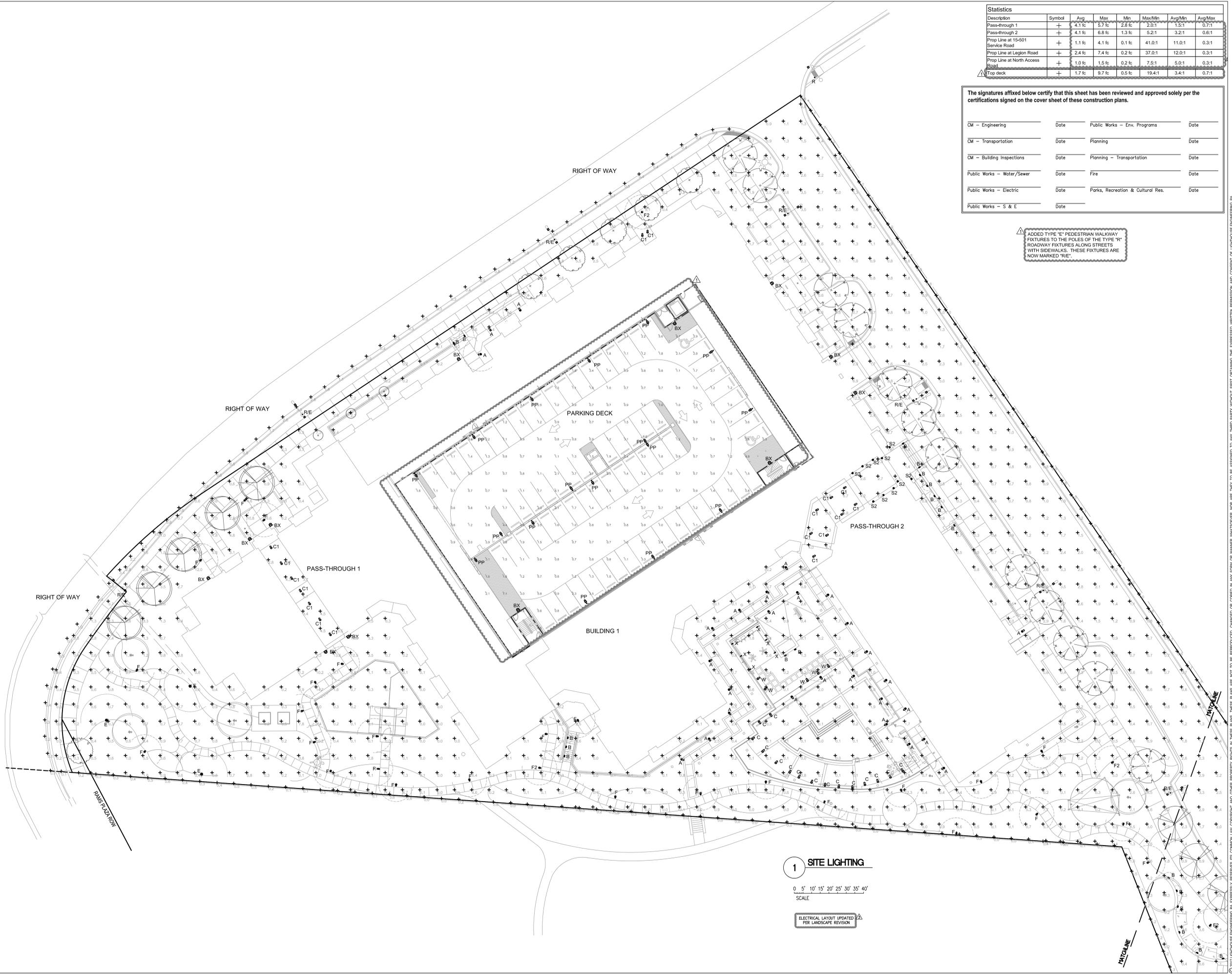
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 F-1287
PENNONI ASSOCIATES, INC.
 401 Providence Road #200
 Chapel Hill, NC 27514
 T 919.929.1173 F 919.493.6548

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Pass-through 1	+	4.1 fc	5.7 fc	2.8 fc	2.0:1	1.5:1
Pass-through 2	+	4.1 fc	6.8 fc	1.3 fc	5.2:1	3.2:1
Prop Line at 15-501 Service Road	+	1.1 fc	4.1 fc	0.1 fc	41.0:1	11.0:1
Prop Line at Legion Road	+	2.4 fc	7.4 fc	0.2 fc	37.0:1	12.0:1
Prop Line at North Access	+	1.0 fc	1.5 fc	0.2 fc	7.5:1	5.0:1
Road	+	1.7 fc	9.7 fc	0.5 fc	19.4:1	3.4:1
Top deck	+	1.7 fc	9.7 fc	0.5 fc	19.4:1	3.4:1

The signatures affixed below certify that this sheet has been reviewed and approved solely per the certifications signed on the cover sheet of these construction plans.

CM - Engineering	Date	Public Works - Env. Programs	Date
CM - Transportation	Date	Planning	Date
CM - Building Inspections	Date	Planning - Transportation	Date
Public Works - Water/Sewer	Date	Fire	Date
Public Works - Electric	Date	Parks, Recreation & Cultural Res.	Date
Public Works - S & E	Date		Date

ADDED TYPE "E" PEDESTRIAN WALKWAY FIXTURES TO THE POLES OF THE TYPE "R" ROADWAY FIXTURES ALONG STREETS WITH SIDEWALKS. THESE FIXTURES ARE NOW MARKED "R/E".



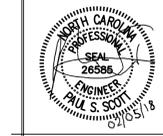
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 JDAVIS ARCHITECTS
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 Raleigh, NC 27601
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 Fax: 919.855.1500

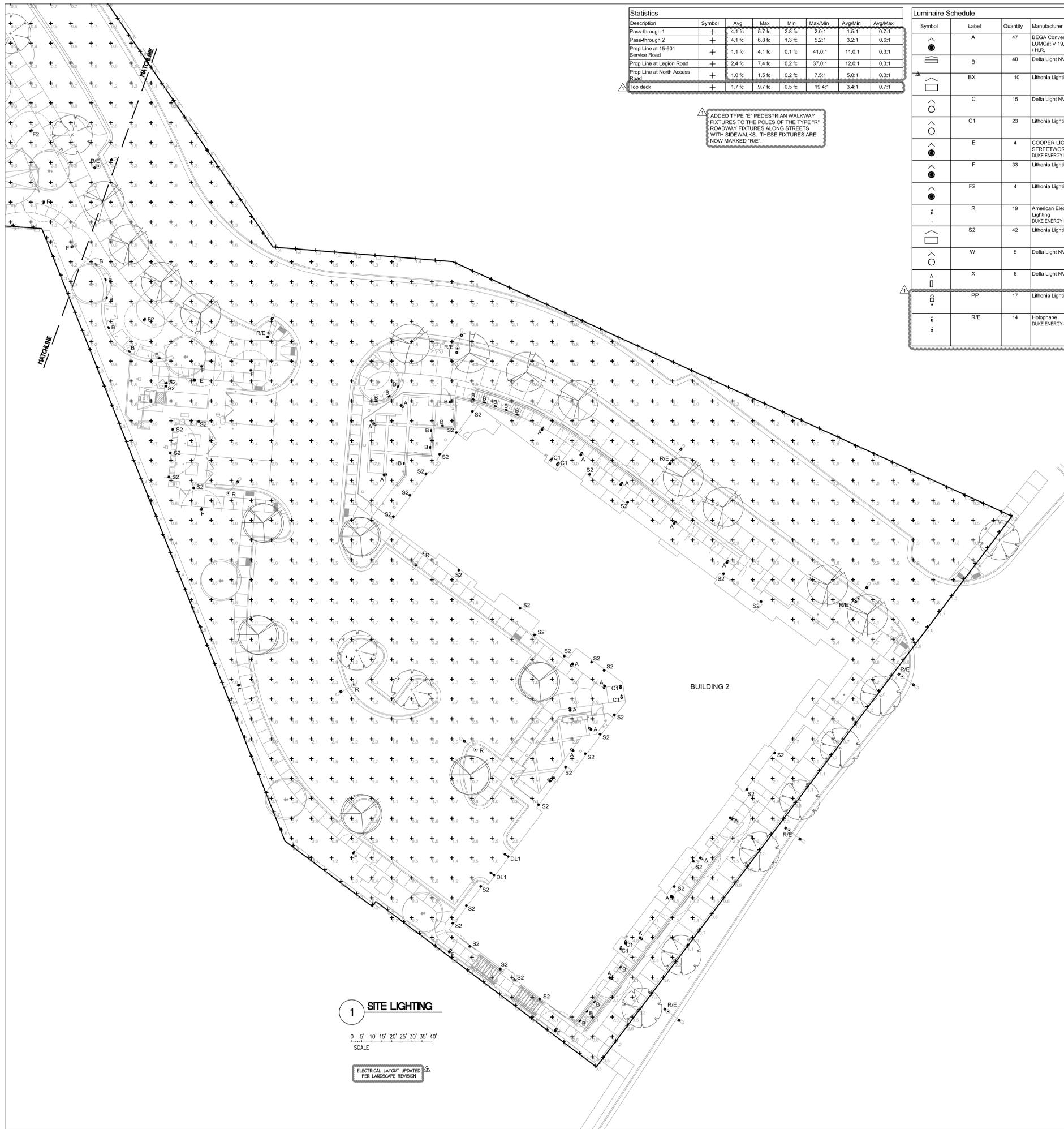
MECHANICAL PLUMBING ELECTRICAL

Leon Capital Group
Hillstone - Chapel Hill
 Hendrick Volvo Site
 Chapel Hill, NC



FINAL DRAWING
 FOR REVIEW PURPOSES ONLY

PROJECT:	15074	DATE	
ISSUE:	Permit Set	06-19-17	
REVISIONS:			
1	Site Comments	08-07-17	
2	REVIEW COMMENTS/COORD.	02-02-18	
DRAWN BY:	PSS		
CHECKED BY:	PSS		
CONTENT:	SITE LIGHTING		
	PLAN		
SL1			



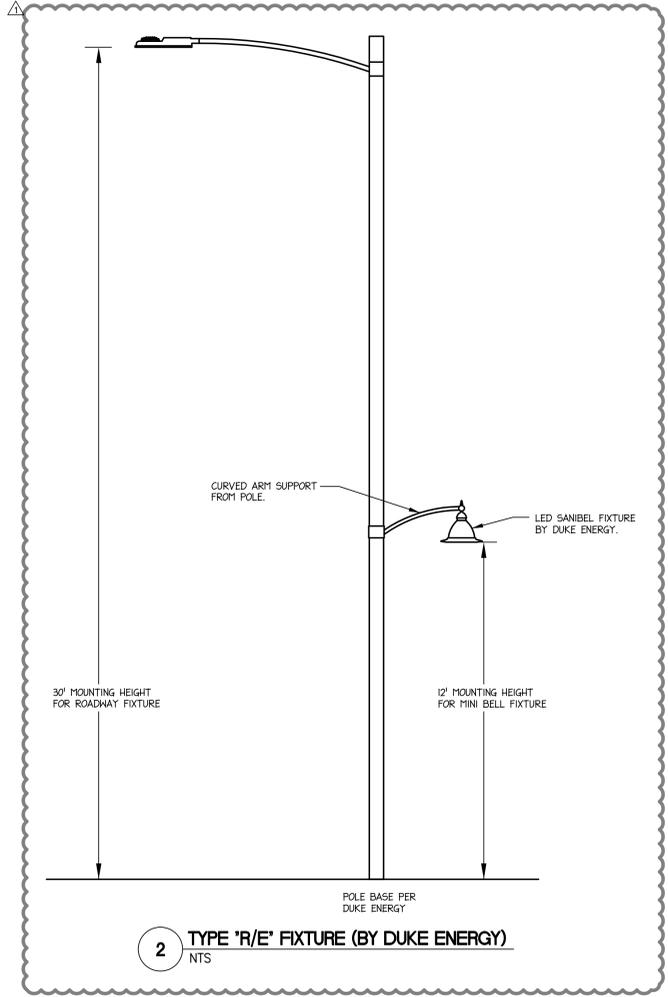
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Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	Avg/Max
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Pass-through 2	+	4.1 fc	6.8 fc	1.3 fc	5.2:1	3.2:1	0.6:1
Prop Line at 15-501 Service Road	+	1.1 fc	4.1 fc	0.1 fc	41.0:1	11.0:1	0.3:1
Prop Line at Legion Road	+	2.4 fc	7.4 fc	0.2 fc	37.0:1	12.0:1	0.3:1
Prop Line at North Access Road	+	1.0 fc	1.5 fc	0.2 fc	7.5:1	5.0:1	0.3:1
Top deck	+	1.7 fc	9.7 fc	0.5 fc	19.4:1	3.4:1	0.7:1

ADDED TYPE "E" PEDESTRIAN WALKWAY FIXTURES TO THE POLES OF THE TYPE "R" ROADWAY FIXTURES ALONG STREETS WITH SIDEWALKS. THESE FIXTURES ARE NOW MARKED "R/E".

Luminaire Schedule										
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Mounting Height	Lamp	Number Lamps	Lumens Per Lamp	Wattage
▲	A	47	BEGA Converted by LUMICKI V 19.02.2015 /H.R.		77753	36" BOLLARD	LED 9.2W	1	411.2372	12
▲	B	40	Delta Light NV	304 32 01 83	LOGIC W L	24" RECESSED	LED cluster	1	1270	11
▲	BX	10	Lithonia Lighting	WST LED P2 30K VF MVOLT	WST LED, Performance package 2, 3000 K, visual comfort forward throw, MVOLT	10'-0"	ED	1	3236.373	25
▲	C	15	Delta Light NV	304 32 01 83	LOGIC W L	IN-GROUND	ED cluster	1	1270	11
▲	C1	23	Lithonia Lighting	OLCFM 15 DDB	GENERAL PURPOSE LED CAST FLUSH MOUNT WITH DARK BRONZE FINISH	11'-0" CEILING	ED	1	1042.224	16.6
▲	E	4	COOPER LIGHTING - STREETWORKS DUKE ENERGY MINI BELL	ARC050650LEDEU33	LED POST TOP TYPE III NO CAGE	12' TO TOP POLE	LED UNIT, 8000CCT, 65CRI	1	559.0323	57.4
▲	F	33	Lithonia Lighting	KBC8 LED 12C 530 30K ASY MVOLT	KBC8 WITH 3 LIGHT BOARDS (12 LEDs), 530mA DRIVER, 3000K COLOR TEMP, AND ASYMMETRIC OPTIC	42" BOLLARD	ED	1	1622.373	22
▲	F2	4	Lithonia Lighting	KBC8 LED 16C 530 30K SYM MVOLT	KBC8 WITH 4 LIGHT BOARDS (16 LEDs), 530mA DRIVER, 3000K COLOR TEMP, AND SYMMETRIC OPTIC	42" BOLLARD	ED	1	1253.76	28
▲	R	19	American Electric Lighting DUKE ENERGY ROADWAY	ATB2 40B LED E10 XXXXX R3	ATB2 SERIES 146W LED 1A TYPE 3 4000K CCT	30' TO TOP POLE	50W LED	1	12641.32	146
▲	S2	42	Lithonia Lighting	OLCS 8 DDB	OUTDOOR CAST SCONCE WDR3 FROSTED LENS; BROWN	7'-0"	ED	1	469.5471	8.93
▲	W	5	Delta Light NV	304 32 01 83	LOGIC W L	IN-GROUND	ED cluster	1	1270	11
▲	X	6	Delta Light NV	304 32 01 83	LOGIC W L	7'-0"	ED cluster	1	1270	11
▲	PP	17	Lithonia Lighting	AS1 42TRT SR3	ARCHITECTURAL ARM-MOUNTED CUTOFF LUMINAIRE WITH SR3 REFLECTOR, MEETS THE NIGHTTIME FRIENDLY CRITERIA	12' ON WALL OR POLE	ONE 40-WATT T8 FLUORESCENT COMPACT FLUORESCENT HORIZONTAL POSITION	1	3200	48
▲	R/E	14	Hokophane DUKE ENERGY SANIBEL	GBLF 070 4K XXXX L3	ONE TYPE "R" ROADWAY FIXTURE AND ONE SANIBEL MOUNTED WITH CURVED ARM SUPPORT AT 12'-0" ON A COMMON POLE. LUMINAIRE TO BE AT 180°.	30' POLE	63 4K LED ARRAY	1	5534.11	70.9

The signatures affixed below certify that this sheet has been reviewed and approved solely per the certifications signed on the cover sheet of these construction plans.

CM - Engineering	Date	Public Works - Env. Programs	Date
CM - Transportation	Date	Planning	Date
CM - Building Inspections	Date	Planning - Transportation	Date
Public Works - Water/Sewer	Date	Fire	Date
Public Works - Electric	Date	Parks, Recreation & Cultural Res.	Date
Public Works - S & E	Date		



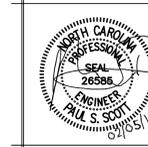
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J DAVIS
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 ARCHITECTURE
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MECHANICAL PLUMBING ELECTRICAL

Leon Capital Group
Hillstone - Chapel Hill
 Hendrick Volvo Site
 Chapel Hill, NC



FINAL DRAWING
 FOR REVIEW
 PURPOSES ONLY

PROJECT:	15074	DATE
ISSUE:	Permit Set	06-19-17
REVISIONS:		
Site Comments	08-07-17	
REVIEW COMMENTS/COORD.	02-02-18	

DRAWN BY: PSS
 CHECKED BY: PSS
 CONTENT: SITE LIGHTING
 PLAN

SL2

BEGA **TYPE 'A'** **77753**
 Bolard IP 65

Project - Reference number _____ Date _____

Product data sheet

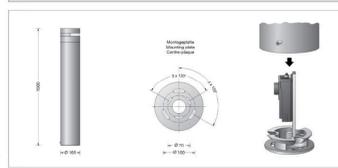
Application
 One-sided LED bollard with 180° light output. Due to the stable construction of this luminaire it is suitable for areas in which a high requirement of robust construction is necessary. The used LED technique offers durability and optimal light output with low power consumption at the same time.

Product description
 Luminaire made of aluminum alloy, aluminum and stainless steel
 Borosilicate glass
 Silicone gasket
 Reflector made of pure anodized aluminum
 Single side light exit 180°
 Luminaire with mounting plate for bolting onto a foundation or an anchorage unit
 Mounting plate with two slots
 ø 70 mm, 3 elongated holes 7 mm wide
 ø 10 mm, 3 elongated holes 3 mm wide
 Luminaire can be aligned on the mounting plate around 360°
 Mounting bracket with connection box 70 B32 for through wiring - for 2 cables up to 5 x 4 mm with fuse Nicosed D 01 - 6 A
 LED power supply unit
 220-240 V AC 50/60 Hz
 DC 12V 270 V

Technical data
 Safety class I
 Protection class IP 65
 Dust-tight and protection against water jets
 Impact strength IK10
 Protection against mechanical damage - 20 J
 CE - Conformity mark
 Weight: 8.6 kg

Inrush current
 Inrush current: 21 A / 18.2 µs
 Maximum number of luminaires of this type per miniature circuit breaker:
 B 16A: 50 luminaires
 B 10A: 50 luminaires
 C 16A: 50 luminaires
 C 10A: 50 luminaires

Lamp
 Module connected wattage
 Luminaire connected wattage
 Rated temperature
 Ambient temperature



LED-0434/830
 3000 K
 Colour rendering index
 Module luminous flux
 Luminaire luminous flux
 Luminaire luminous efficacy

LED-0434/830
 3000 K
 Colour rendering index
 Module luminous flux
 Luminaire luminous flux
 Luminaire luminous efficacy

LED-0434/830
 3000 K
 Colour rendering index
 Module luminous flux
 Luminaire luminous flux
 Luminaire luminous efficacy

LED-0434/830
 3000 K
 Colour rendering index
 Module luminous flux
 Luminaire luminous flux
 Luminaire luminous efficacy

Light distribution

BEGA Garten- und Leuchten KG - Postfach 31-60 - 59869 Menden - info@bega.com - www.bega.com

DELTA LIGHT

Date _____
 Name _____
 Client _____
 Project Name _____
 Quantity _____
 Type/Quantity **TYPE 'B'**

DELTA LIGHT
 Specification Sheet

LOGIC WL
 304 32 01 83

WebLink

Cutout shape/size: 1 B0X mm
 Recessed depth: 110-135 mm
 Available colors: ALU GREY (304 32 01 83 A)
 WHITE (304 32 01 83 W)
 DARK GREY (304 32 01 83 N)

INCL GLASS SBL
 INCL LED CLUSTER 9.5W / CRB-80 / 3000K / 1270lm
 INCL LED POWER SUPPLY 350mA-DC
 INCL 1 x PG11

LED Technik Light source: 1270 lm / 9 W // 134 lm/W
 Luminaire: 116 lm // 11 W // 11 lm/W

220-240V / 50-60Hz
 Class: I
 Weight: 1 KG
 Protection level: IP65
 Minimum distance: n.a.

Requirements CONCRETE BOX 191
 CONCRETE PACK LOGIC WL

For detailed installation instructions, please consult the manual 304_32_01_XX_V03_2010-04.pdf

20/04/2017 22:33:47

WST LED
 Architectural Wall Sconce

Counting Number: WST LED P2.30K VF 120 E7WC DBRXD
 Name: _____
 Type: BX **TYPE 'BX'**

Specifications
Luminaire
 Height: 8-1/2" (21.47 cm)
 Width: 17" (43.18 cm)
 Depth: 10-3/16" (26.81 cm)
 Weight: 20 lbs (9.1 kg)

Optional Back Box (BBW)
 Height: 4" (10.16 cm)
 Width: 5-1/2" (14.0 cm)
 Depth: 1-1/2" (3.81 cm)

Introduction
 The WST LED is designed with the specifier in mind. The traditional, trapezoidal shape offers a soft, non-polluted light source for end-user visual comfort. For emergency egress lighting, the WST LED offers six battery options, including remote. For additional code compliance and energy savings, there is also a B-level motion sensor option. With so many standard and optional features, three lumen packages, and high LPW, the WST LED is your "go to" luminaire for most any application.

Ordering Information

Series	Performance Package	Color Temperature	Distribution	Voltage	Mounting
WST LED	P1 1500 Lumen package	27K 2700K	WW Visual comfort forward flow	100V 120V 240V	Shipped included
	P2 3000 Lumen package	30K 3000K	WW Visual comfort forward flow	100V 120V 240V	Shipped included
	P3 6000 Lumen package	40K 4000K 50K 5000K	WW Visual comfort forward flow	100V 120V 240V	Shipped included

Accessories

Option	Description	Part Number	Notes
PER	Perforated metal back box	PER01	Not available with PER, PER2, PER3, PER4, PER5, PER6, PER7, PER8, PER9, PER10, PER11, PER12, PER13, PER14, PER15, PER16, PER17, PER18, PER19, PER20, PER21, PER22, PER23, PER24, PER25, PER26, PER27, PER28, PER29, PER30, PER31, PER32, PER33, PER34, PER35, PER36, PER37, PER38, PER39, PER40, PER41, PER42, PER43, PER44, PER45, PER46, PER47, PER48, PER49, PER50, PER51, PER52, PER53, PER54, PER55, PER56, PER57, PER58, PER59, PER60, PER61, PER62, PER63, PER64, PER65, PER66, PER67, PER68, PER69, PER70, PER71, PER72, PER73, PER74, PER75, PER76, PER77, PER78, PER79, PER80, PER81, PER82, PER83, PER84, PER85, PER86, PER87, PER88, PER89, PER90, PER91, PER92, PER93, PER94, PER95, PER96, PER97, PER98, PER99, PER100
PER2	Perforated metal back box with emergency battery	PER02	Not available with PER, PER2, PER3, PER4, PER5, PER6, PER7, PER8, PER9, PER10, PER11, PER12, PER13, PER14, PER15, PER16, PER17, PER18, PER19, PER20, PER21, PER22, PER23, PER24, PER25, PER26, PER27, PER28, PER29, PER30, PER31, PER32, PER33, PER34, PER35, PER36, PER37, PER38, PER39, PER40, PER41, PER42, PER43, PER44, PER45, PER46, PER47, PER48, PER49, PER50, PER51, PER52, PER53, PER54, PER55, PER56, PER57, PER58, PER59, PER60, PER61, PER62, PER63, PER64, PER65, PER66, PER67, PER68, PER69, PER70, PER71, PER72, PER73, PER74, PER75, PER76, PER77, PER78, PER79, PER80, PER81, PER82, PER83, PER84, PER85, PER86, PER87, PER88, PER89, PER90, PER91, PER92, PER93, PER94, PER95, PER96, PER97, PER98, PER99, PER100
PER3	Perforated metal back box with emergency battery and motion sensor	PER03	Not available with PER, PER2, PER3, PER4, PER5, PER6, PER7, PER8, PER9, PER10, PER11, PER12, PER13, PER14, PER15, PER16, PER17, PER18, PER19, PER20, PER21, PER22, PER23, PER24, PER25, PER26, PER27, PER28, PER29, PER30, PER31, PER32, PER33, PER34, PER35, PER36, PER37, PER38, PER39, PER40, PER41, PER42, PER43, PER44, PER45, PER46, PER47, PER48, PER49, PER50, PER51, PER52, PER53, PER54, PER55, PER56, PER57, PER58, PER59, PER60, PER61, PER62, PER63, PER64, PER65, PER66, PER67, PER68, PER69, PER70, PER71, PER72, PER73, PER74, PER75, PER76, PER77, PER78, PER79, PER80, PER81, PER82, PER83, PER84, PER85, PER86, PER87, PER88, PER89, PER90, PER91, PER92, PER93, PER94, PER95, PER96, PER97, PER98, PER99, PER100

One Lithonia Way • Cary, Georgia 30012 • Phone: 800.279.6041 • www.lithonia.com
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TYPE 'C' **SLV**
 BIG LED PLOT ROUND



Material: Aluminum
Versions: silver grey
Accessory/Included parts: Ground protective ring (incl.) LED insert (excl.)
Art. No.: 4227371U, 4227372U, 4227374U

Note: Select the plot cover with 1, 2 or 4 light exit openings (slots). Then select the LED insert (see below) with the desired light color.



SLV Lighting North America, Inc.
 5731 Benjamin Center Dr. • Tampa, FL 33634
 Main line: (813) 349-1900 • Fax line: (813) 349-1907 • www.slvlighting.com

LITHONIA LIGHTING **OLCFM 15 DDB**

Notes: _____
 Type: C1 **TYPE 'C1'**

FEATURES & SPECIFICATIONS
INTENDED USE — The OLCFM provides years of maintenance free general illumination for residential and commercial outdoor applications such as porches, entry and outdoor staircases.
CONSTRUCTION — Bugged cast aluminum top plate and outer ring are protected by a thermoseal powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-step process ensures consistent finish. The luminaire is finished with a clear powder coat for long-term durability without fading or peeling.
Performance — LED luminaire protects LEDs.
Finish — 208 lbs.
OPTICS — 96 high performance LEDs produce up to 1077 lumens and maintain 70% of light output at 50,000 hours of service.
LED — High performance LED luminaire with 96 LEDs and calculated per foot 134 lm/W (31 lm/ft).
White acrylic diffuser provides a soft white light at 9000K CCT.
See lighting facts label for specific fixture performance.
REQUIREMENTS — Minimum clearance 10 volts, 40°C.
Standard input — 150 watts.
Operating temperature — 40° to 60° F.
Area of ILM — 111.
Seal penetration — 2.360.
INSTALLATION — Mounts easily to existing junction box (by others).
LISTING — UL Listed in U.S. and Canada safety standards for your location.
Design — Voltage and wattage must be marked on the luminaire.
WARRANTY — 5 year limited warranty. Complete warranty terms located at www.lithonia.com/ledluminairewarranty. See also installation guide.
Actual performance may differ as a result of field site environment and application.
 All values are design or typical values, measured under laboratory conditions at 25°C.
 Note: Specifications subject to change without notice.



ORDERING INFORMATION — All configurations of this product are considered "standard" and have short lead times. Example: OLCFM 15 DDB

Column	Series	Light Output	Color Temperature (CCT)	Voltage	Finish
OLCFM	15	1077	9000K	120V	008 Dark bronze 001 White

Notes:
 1. Material: Cast Aluminum (CETEM) 6061-T6, 3003-T5
 2. Material: Cast Aluminum (CETEM) 6061-T6, 3003-T5
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 100. Material: Cast Aluminum (CETEM) 6061-T6, 3003-T5

DECLARATIVE INDOOR & OUTDOOR OLCFM

TYPE 'E' **DUKE ENERGY**



The Mini Ball LED is an energy-efficient luminaire with a classic, sophisticated design. This fixture is an excellent choice for illuminating pathways and residential communities.

KBC8 LED
 LED Specification Bollard

Counting Number: _____
 Name: _____
 Type: F / F2 **TYPE 'F' / 'F2'**

Specifications
 Height: 8" Round
 Weight: 27 lbs (12.2 kg)

Introduction
 The KBC8 Bollard is a stylish, fully integrated LED solution for walkways. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy-efficient lighting with a variety of optical and control options for customized performance.
 With an expected service life of over 20 years of nighttime use and up to 70% in energy savings over comparable 100W metal halide luminaires, the KBC8 Bollard is a reliable, low-maintenance lighting solution that produces sites that are exceptionally illuminated.

Ordering Information

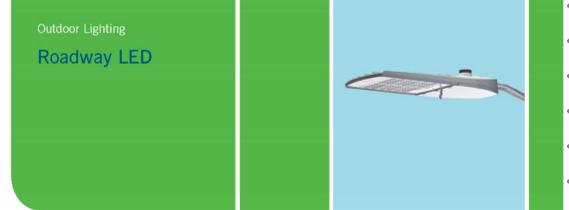
Series	LED	Direction	Color Temperature	Distribution	Voltage	Control options	Other options	Finish options
KBC8 LED	Asymmetric	30°	30K 3000K 40K 4000K 50K 5000K	ASV Spot FW Flood	100V 120V 240V	Shipped included	Shipped included	Shipped included
	Symmetric	30°	30K 3000K 40K 4000K 50K 5000K	ASV Spot FW Flood	100V 120V 240V	Shipped included	Shipped included	Shipped included
	MC 10 (10°)	30°	30K 3000K 40K 4000K 50K 5000K	ASV Spot FW Flood	100V 120V 240V	Shipped included	Shipped included	Shipped included

Accessories

Option	Description	Part Number
PER	Perforated metal back box	PER01
PER2	Perforated metal back box with emergency battery	PER02
PER3	Perforated metal back box with emergency battery and motion sensor	PER03
PER4	Perforated metal back box with emergency battery and motion sensor and photocell	PER04
PER5	Perforated metal back box with emergency battery and motion sensor and photocell and timer	PER05
PER6	Perforated metal back box with emergency battery and motion sensor and photocell and timer and photocell	PER06
PER7	Perforated metal back box with emergency battery and motion sensor and photocell and timer and photocell and photocell	PER07
PER8	Perforated metal back box with emergency battery and motion sensor and photocell and timer and photocell and photocell and photocell	PER08
PER9	Perforated metal back box with emergency battery and motion sensor and photocell and timer and photocell and photocell and photocell and photocell	PER09
PER10	Perforated metal back box with emergency battery and motion sensor and photocell and timer and photocell and photocell and photocell and photocell and photocell	PER10

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TYPE 'R' **DUKE ENERGY**



The roadway LED is a green solution and great fit for streets, roads, long, narrow areas and parking lots. This energy-efficient luminaire delivers the light where it is needed while increasing visibility and reducing spill light to adjoining properties. Choose low to medium light output on wood or aluminum poles (or mount on existing poles). Available with one to four fixtures per pole, depending on the fixture/pole combination selected.

LED (Light Emitting Diode)	50 70 110 150 220 280 watts
Mounting heights	15', 20', 25', 30', 35'
Colors	Bronze Black Gray Green
Poles	Style A Wood

For additional information, visit us at duke-energy.com/OutdoorLighting or call us toll free at 866.769.6417

J DAVIS
 INTERIORS LANDSCAPE ARCHITECTURE
 J DAVIS ARCHITECTS
 100 W. Morgan Street, Suite 100
 Raleigh, NC 27601
 Tel: 919.856.9181
 Fax: 919.856.1500

LIGHTHOUSE ENGINEERS
 ARCHITECTURE
 J DAVIS ARCHITECTS
 100 W. Morgan Street, Suite 100
 Raleigh, NC 27601
 Tel: 919.856.9181
 Fax: 919.856.1500

MECHANICAL PLUMBING ELECTRICAL

Leon Capital Group
Hillstone - Chapel Hill
Hendrick Volvo Site
Chapel Hill, NC

FINAL DRAWING
FOR REVIEW
PURPOSES ONLY

DATE _____

PROJECT: 15074
 ISSUE: Permit Set 06-19-17
 REVISIONS:
 1. Site Comments 08-07-17

DRAWN BY: PSS
 CHECKED BY: PSS
 CONTENT: SITE LIGHTING
 CUT SHEETS

SL3



Model: OLCS 6 DBB
Type: OLCS

FEATURES & SPECIFICATIONS

TYPE 'S2' - The SLV provides...
CONSTRUCTION - Ringed cast aluminum housing...
OPTICS - 45 high performance LEDs...
ELECTRICAL - 15-watt, 120V AC...
INSTALLATION - Mounts easily to recessed junction box...
LISTINGS - UL Listed for use in wet locations...
WARRANTY - 5-year limited warranty...

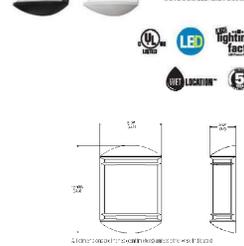
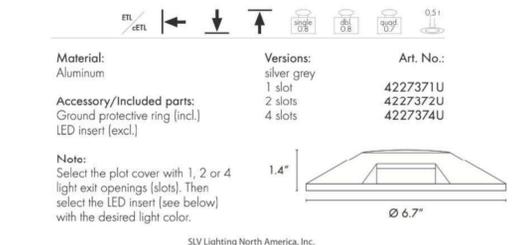


Table with columns: OLCS, Light Output, Color Temperature, Mounting, Finish. Example: OLCS 6 DBB

Notes: 1. Mounting... 2. Finish... 3. Dimensions...

Decorative Images & Outdoor

BIG LED PLOT ROUND TYPE 'W' SLV®



Material: Aluminum. Versions: silver grey. Art. No.: 4227371U, 4227372U, 4227374U.

Accessory/Included parts: Ground protective ring (incl.), LED insert (excl.).

Note: Select the plot cover with 1, 2 or 4 light exit openings (slots). Then select the LED insert (see below) with the desired light color.

SLV Lighting North America, Inc. 5731 Benjamin Center Dr., Tampa, FL 33634

DELTA LIGHT

USA / deltalight.us / +1(854) 877 8800
Canada / deltalight.ca / +1(905) 813 6130

Date: _____
Name: _____
Client: _____
Project Name: _____
Quote #: _____
Type/Quantity: _____

Features: Corrosion protected, powder coated aluminum.
Application: For accent lighting Residential, commercial, retail, and hospitality spaces.
Dimming Options: Refer to housing or power supply spec sheet.
Listings: [Logo]

23942217 220681

TYPE 'X' Specification Sheet



Table with columns: Available colors, WxH, LED Technical, Class 2, Ada, Backplate, MUD KIT INSTALLATION, Weight, Protection level, Minimum clearance, Options.

Note: For details on the LED insert please refer to sheet 0-22-12-02-MUD-KIT



Model: AS1
Type: AS1

FEATURES & SPECIFICATIONS

TYPE 'PP' - The AS1 provides...
CONSTRUCTION - Ringed cast aluminum housing...
OPTICS - 45 high performance LEDs...
ELECTRICAL - 15-watt, 120V AC...
INSTALLATION - Mounts easily to recessed junction box...
LISTINGS - UL Listed for use in wet locations...
WARRANTY - 5-year limited warranty...

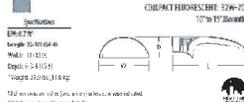


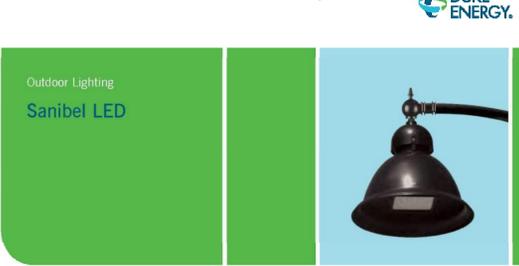
Table with columns: AS1, Light Output, Color Temperature, Mounting, Finish. Example: AS1 120 SR3

Table with columns: AS1, Light Output, Color Temperature, Mounting, Finish. Example: AS1 120 SR3

Notes: 1. Mounting... 2. Finish... 3. Dimensions...

Decorative Images & Outdoor

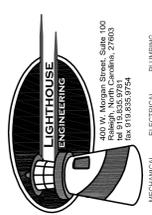
TYPE 'R/E' DUKE ENERGY



Outdoor Lighting Sanibel LED. The beauty of the stylish Sanibel LED is its remarkable versatility.

Table with columns: LED, Mounting heights, Colors, Poles. Example: LED 70 / 150 watts, Mounting heights 19, 20, 25.

For additional information, visit us at duke-energy.com/OutdoorLighting or call us toll free at 800-760-6417.



Leon Capital Group Hillstone - Chapel Hill
Hendrick Volvo Site Chapel Hill, NC



FINAL DRAWING FOR REVIEW PURPOSES ONLY

Table with columns: PROJECT, ISSUE, REVISIONS, DATE. Example: PROJECT 15574, ISSUE Permit Set, DATE 06-19-17.

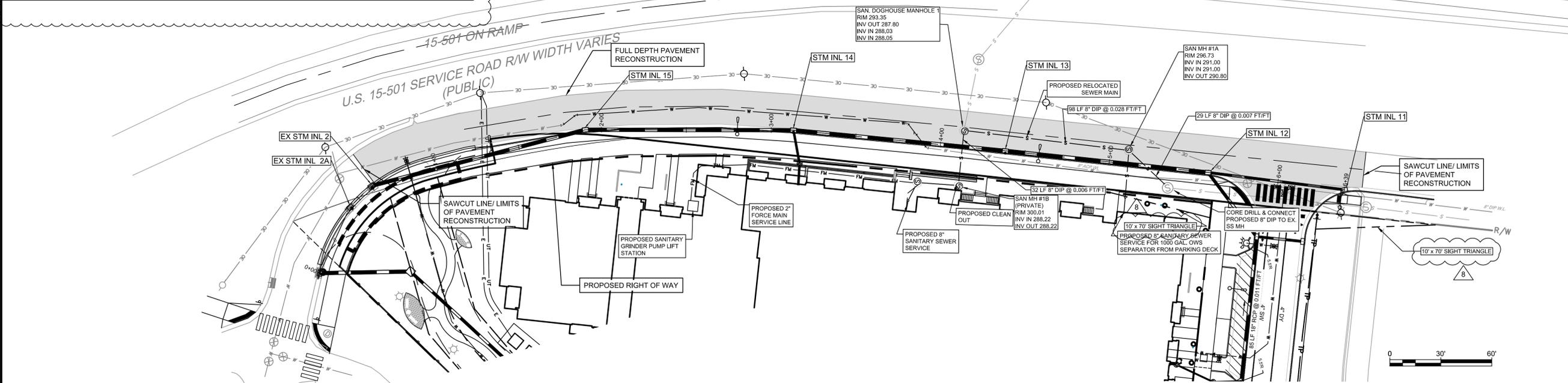
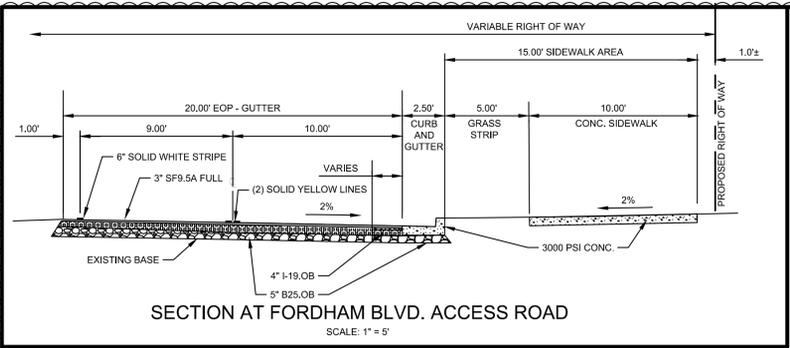
DRAWN BY: PSS
CHECKED BY: PSS
CONTENT: SITE LIGHTING CUT SHEETS

The signatures affixed below certify that this sheet has been reviewed and approved solely per the certifications signed on the cover sheet of these construction plans.

Table with columns: CM - Engineering, Date, Public Works - Env. Programs, Date. Example: CM - Engineering, Date, Public Works - Env. Programs, Date.

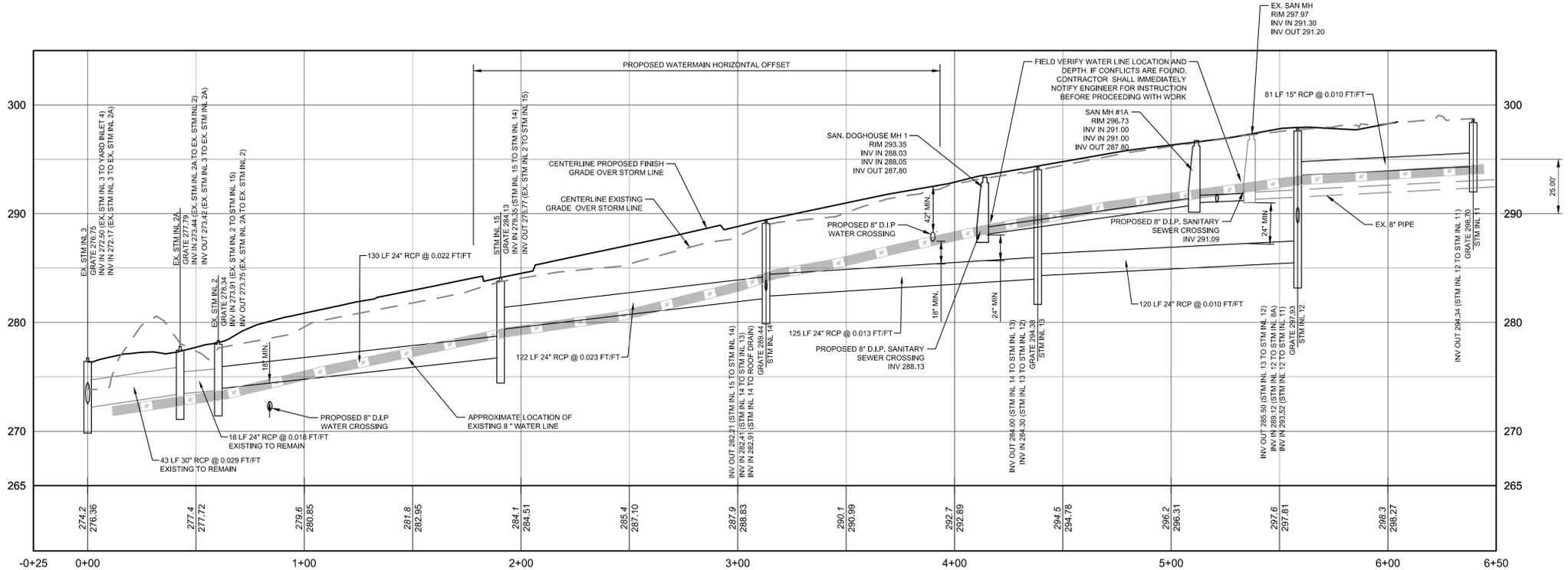
SL4

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PLAN OF FORDHAM BLVD. ACCESS ROAD
SCALE: 1" = 30"

- NOTES:
1. ALL STRUCTURES AND PIPES BUILT WITHIN NCDOT MAINTAINED RIGHT-OF-WAY SHALL MEET NCDOT STANDARD SPECIFICATIONS AND DETAILS.
 2. ALL ROOF DRAINS ARE TO BE INSTALLED TO DIRECT WATER FROM PROPOSED BUILDING TO UNDERGROUND STORM SYSTEM.
 3. A MINIMUM OF 24" VERTICAL SEPARATION AND 10' HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN STORM AND SANITARY SEWER PIPE OR FERROUS PIPE TO BE INSTALLED.
 4. SEE SHEET CS6041 FOR O.W.A.S.A. WATER & SANITARY SEWER DETAILS FOR WORK IN NCDOT RW.
 5. UTILITY SERVICE LINES EXTENDING UNDER PUBLIC SIDEWALKS SHALL BE SLEEVED WITH THE APPROPRIATE SIZE / MATERIAL PIPE.
 6. A MINIMUM OF 18" VERTICAL SEPARATION SHALL BE PROVIDED BETWEEN STORM SEWER AND DOMESTIC WATER LINES.



PROFILE FORDHAM BLVD. ACCESS ROAD
HORIZONTAL SCALE: 1" = 30"
VERTICAL SCALE: 1" = 6"

Pennoni
Firm License F-1287
PENNONI ASSOCIATES, INC.
401 Providence Road #200
Chapel Hill, NC 27514
T 919.929.1173 F 919.493.6548

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

HILLSTONE CHAPEL HILL
1000 & 2000 NOVIUS LANE
CHAPEL HILL, NORTH CAROLINA 27514

FORDHAM BLVD. ACCESS ROAD IMPROVEMENTS

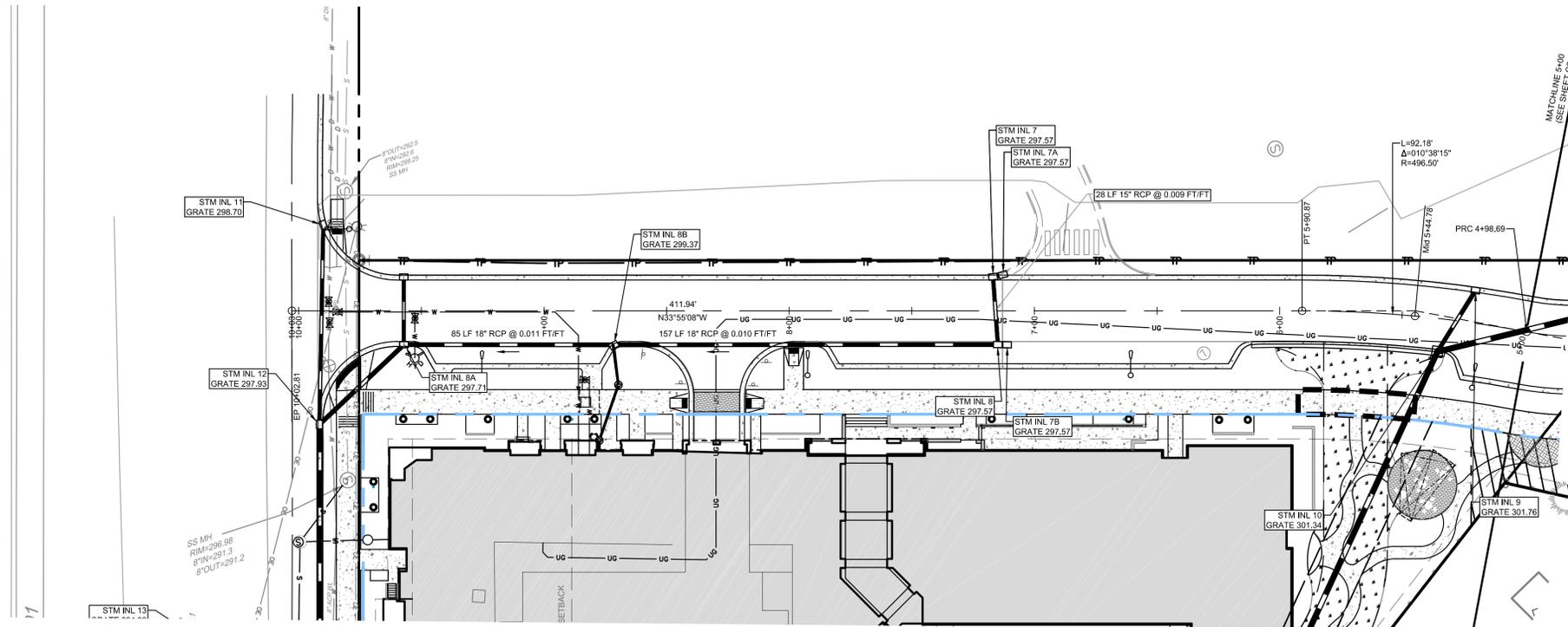
LEON CAPITAL GROUP
5970 FAIRVIEW ROAD, SUITE 450
CHARLOTTE, NORTH CAROLINA 28210

NO.	DATE	REVISIONS	BY
8	2/26/16	REVIEW COMMENT FINAL COORDINATION	JUB
7	12/15/2017	STORM SEWER REVISION	JUB
6	1/26/2017	FINAL ARCHITECTURAL COORDINATION	JUB
5	10/25/2017	TOWN COMMENT REVISIONS REVIEW #5	TAS
4	7/15/2017	TOWN COMMENT REVISIONS REVIEW #4	WRA
3	7/15/2017	TOWN COMMENT REVISIONS REVIEW #3	WRA
2	4/7/2017	TOWN COMMENT REVISIONS REVIEW #2	WRA
1	2/26/2017	REVISIONS AS PER TOWN'S REVIEW COMMENTS	WRA

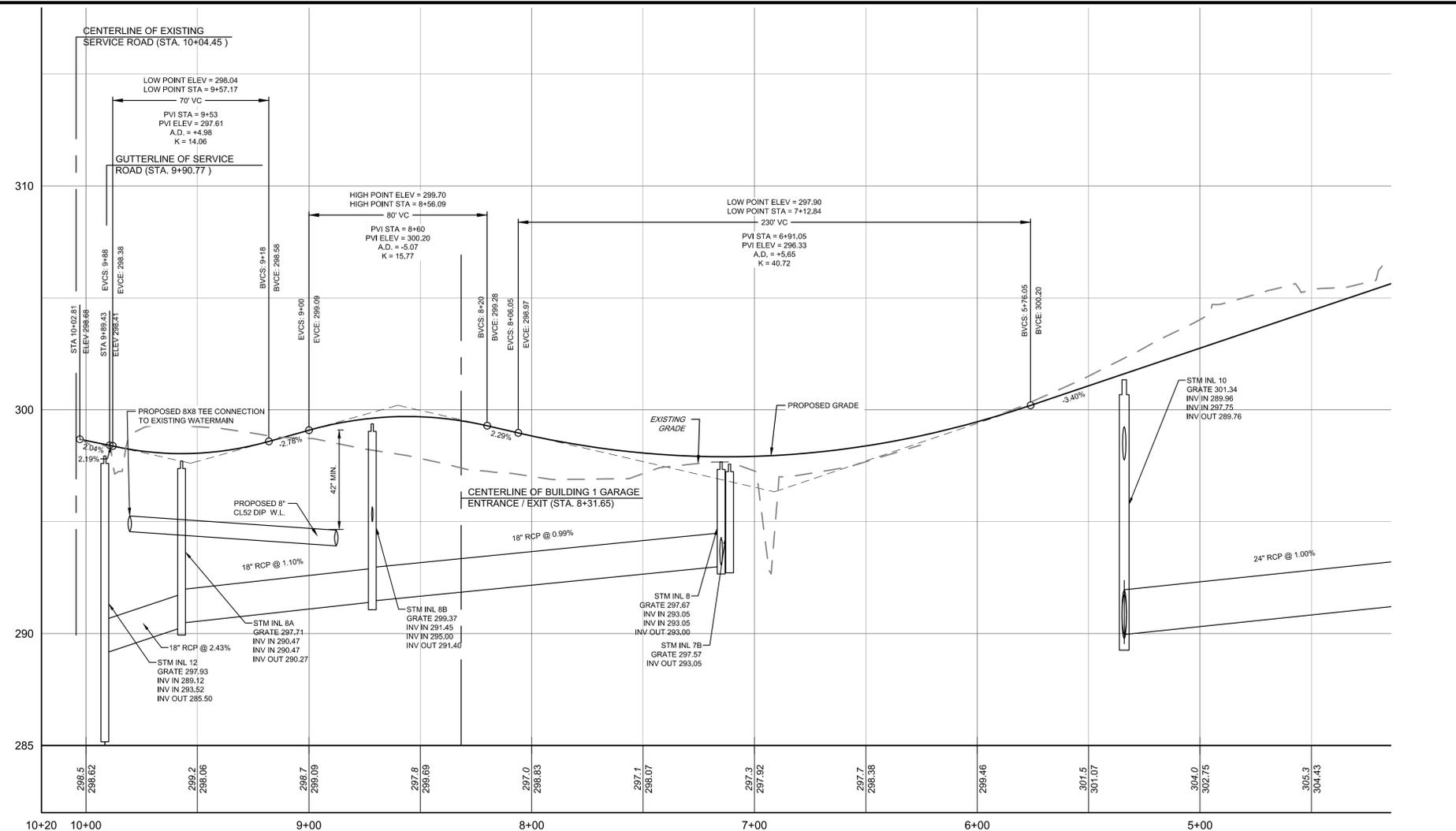
ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES AND OWNER SHALL INDemnIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

PROJECT	LCGR1602
DATE	DECEMBER 7, 2016
DRAWING SCALE	1" = 30'
DRAWN BY	WRA
APPROVED BY	JUB

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PLAN
SCALE: 1" = 30'



SCALE: HORIZONTAL 1" = 30'
VERTICAL 1" = 3'

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

HILLSTONE CHAPEL HILL
1000 S. EIGHTH AVENUE
CHAPEL HILL, NORTH CAROLINA 27514

PROPOSED ROAD PLAN AND PROFILE

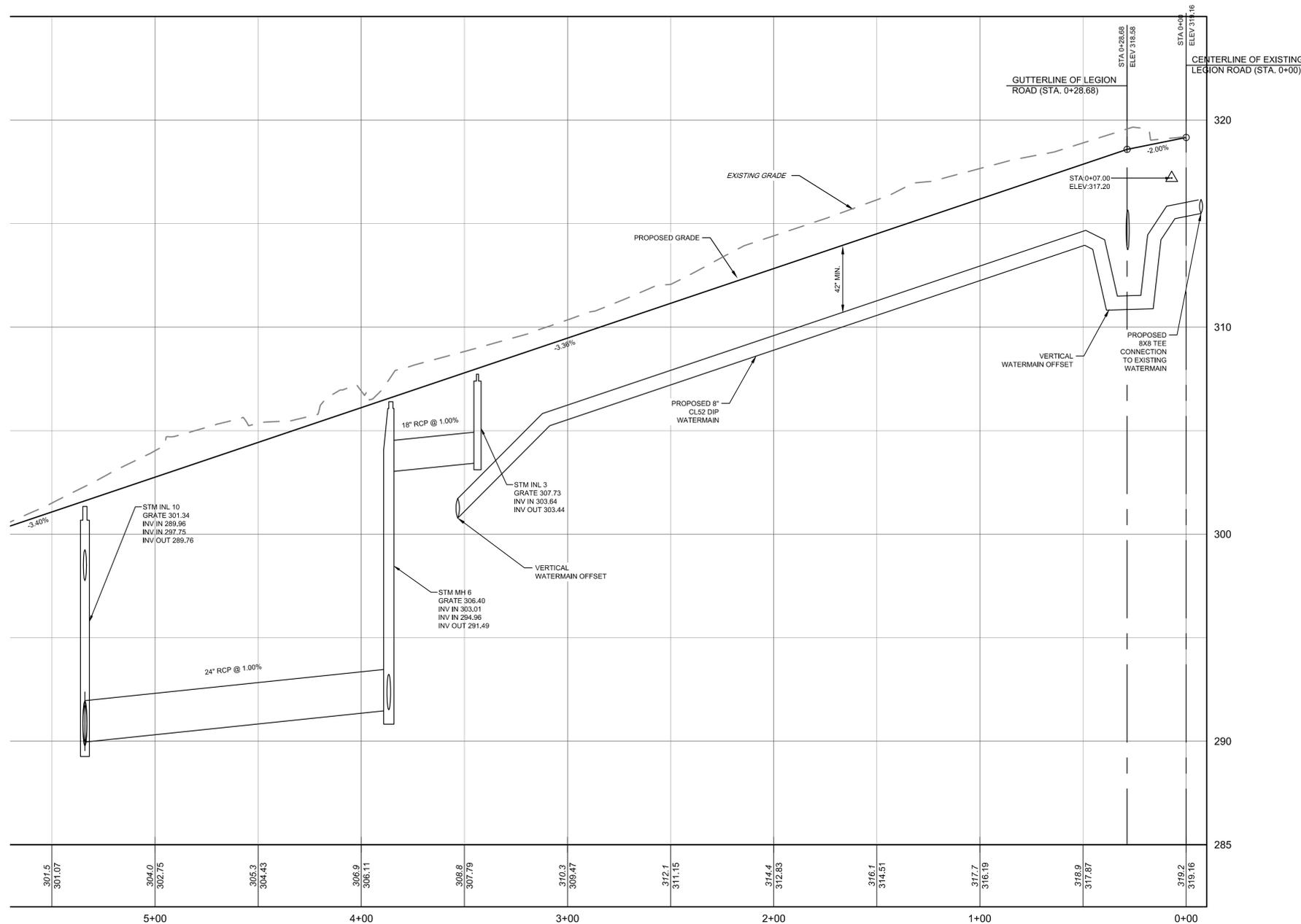
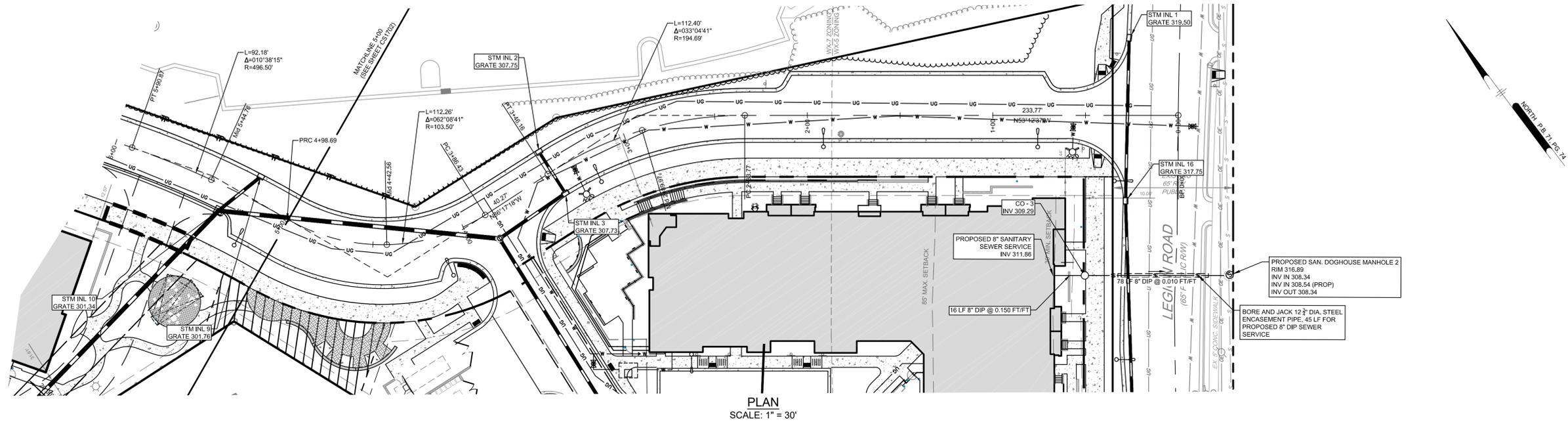
LEON CAPITAL GROUP
5970 FAIRVIEW ROAD, SUITE 450
CHARLOTTE, NORTH CAROLINA 28210

DATE	NO.	REVISIONS	BY
2/2/2016	7	REVIEW COMMENT FINAL COORDINATION	JOB
1/29/2017	6	FINAL ARCHITECTURAL COORDINATION	JOB
9/25/2017	5	TOWN COMMENT REVISIONS REVIEW #5	TAS
7/3/2017	4	TOWN COMMENT REVISIONS REVIEW #4	WRA
6/15/2017	3	TOWN COMMENT REVISIONS REVIEW #3	WRA
4/7/2017	2	TOWN COMMENT REVISIONS REVIEW #2	WRA
2/29/2017	1	REVISIONS AS PER TOWNS REVIEW COMMENTS	WRA

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PROJECT: LCGR1602
DATE: DECEMBER 7, 2016
DRAWING SCALE: 1" = 30'
DRAWN BY: WRA
APPROVED BY: JUB

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ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

HILLSTONE CHAPEL HILL
 10008 E. GORDONHURST LANE
 CHAPEL HILL, NORTH CAROLINA 27514
PROPOSED ROAD PLAN AND PROFILE
 LEON CAPITAL GROUP
 5970 FAIRVIEW ROAD, SUITE 450
 CHARLOTTE, NORTH CAROLINA 28210

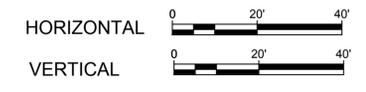
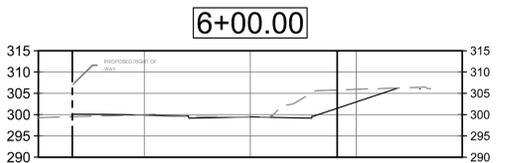
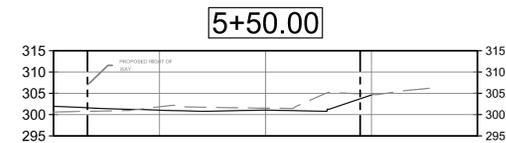
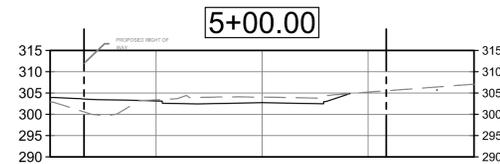
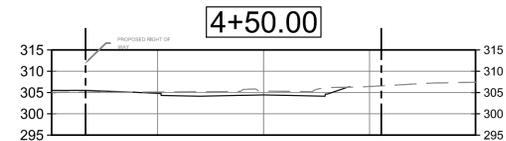
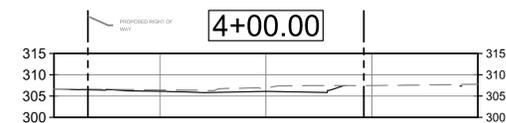
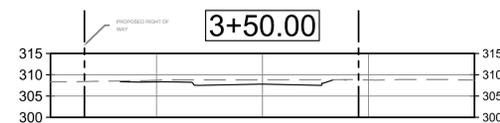
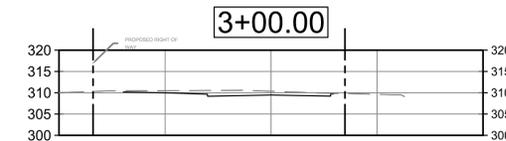
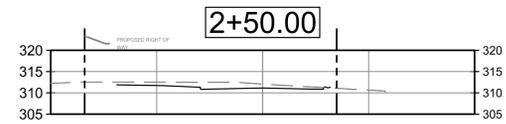
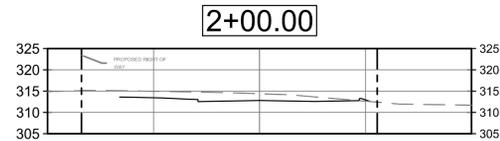
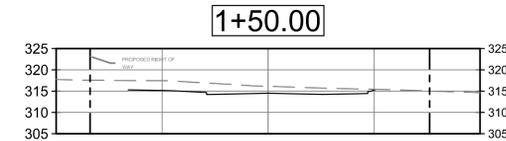
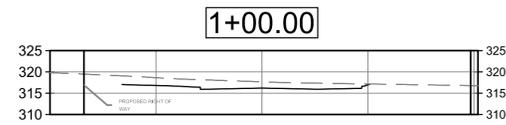
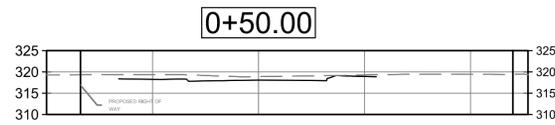
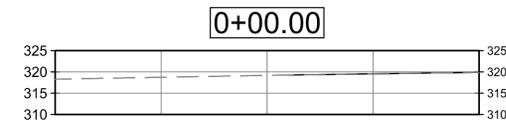
JOB	REVISIONS	DATE	NO.	BY
7	REVIEW COMMENT FINAL COORDINATION	2/2/2018		
6	FINAL ARCHITECTURAL COORDINATION	1/29/2017		
5	TOWN COMMENT REVISIONS REVIEW #5	9/25/2017		
4	TOWN COMMENT REVISIONS REVIEW #4	7/31/2017		
3	TOWN COMMENT REVISIONS REVIEW #3	6/15/2017		
2	TOWN COMMENT REVISIONS REVIEW #2	4/7/2017		
1	REVISIONS AS PER TOWNS REVIEW COMMENTS	2/29/2017		

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PROJECT: **LCGR1602**
 DATE: **DECEMBER 7, 2016**
 DRAWING SCALE: **1" = 30'**
 DRAWN BY: **WRA**
 APPROVED BY: **JUB**

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 PROJECT STATUS: DESIGN DEVELOPMENT
 DATE: 2/29/2017 12:57 PM BY: Doreal@penn



ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

HILLSTONE CHAPEL HILL
 10028 EIGHTH AVENUE
 CHAPEL HILL, NORTH CAROLINA 27514
NEW STREET CROSS SECTIONS

LEON CAPITAL GROUP
 5970 FAIRVIEW ROAD, SUITE 450
 CHARLOTTE, NORTH CAROLINA 28210

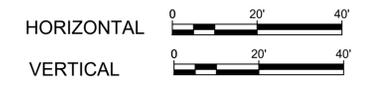
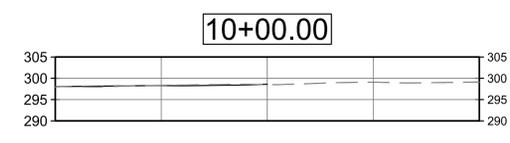
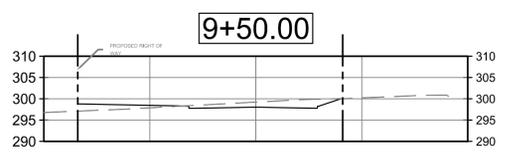
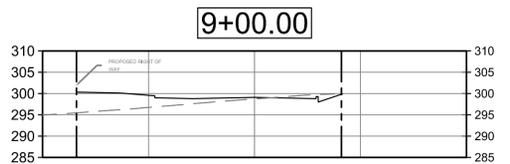
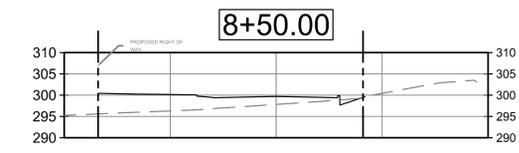
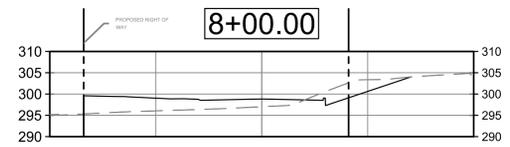
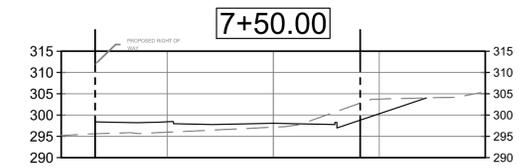
DATE	NO.	REVISIONS	BY
2/2/2018	7	REVIEW COMMENT FINAL COORDINATION	JUB
1/29/2017	6	FINAL ARCHITECTURAL COORDINATION	JUB
8/25/2017	5	TOWN COMMENT REVISIONS REVIEW #5	TAS
7/3/2017	4	TOWN COMMENT REVISIONS REVIEW #4	WRA
6/15/2017	3	TOWN COMMENT REVISIONS REVIEW #3	WRA
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2/29/2017	1	REVISIONS AS PER TOWNS REVIEW COMMENTS	WRA

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PROJECT: LCGR1602
 DATE: APRIL 10, 2017
 DRAWING SCALE: 1" = 20'
 DRAWN BY: WRA
 APPROVED BY: JUB

CS3503
 SHEET 18 OF 28

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PENNONI ASSOCIATES INC.
 407 Providence Road #200
 Chapel Hill, NC 27514
 T 919.929.1173 F 919.493.6548



ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

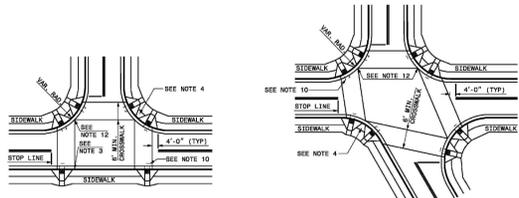
HILLSTONE CHAPEL HILL
 10028 E. CHURCHMAN BLVD
 CHAPEL HILL, NORTH CAROLINA 27514

NEW STREET CROSS SECTIONS

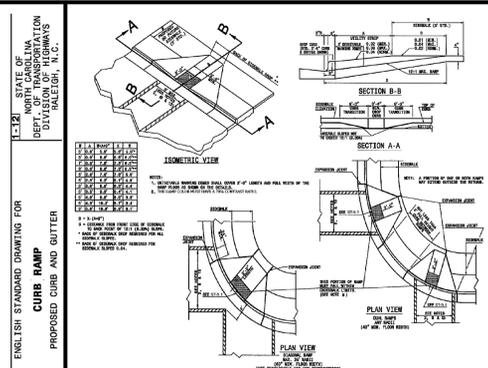
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1/29/2017	6	FINAL ARCHITECTURAL COORDINATION	JJB
8/25/2017	5	TOWN COMMENT REVISIONS REVIEW #5	TAS
7/3/2017	4	TOWN COMMENT REVISIONS REVIEW #4	WRA
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4/7/2017	2	TOWN COMMENT REVISIONS REVIEW #2	WRA
2/29/2017	1	REVISIONS AS PER TOWNS REVIEW COMMENTS	WRA

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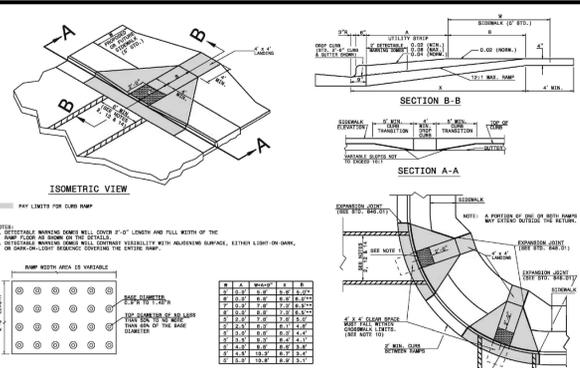
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 DATE: **DECEMBER 7, 2016**
 DRAWING SCALE: **1" = 20'**
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 APPROVED BY: **JJB**



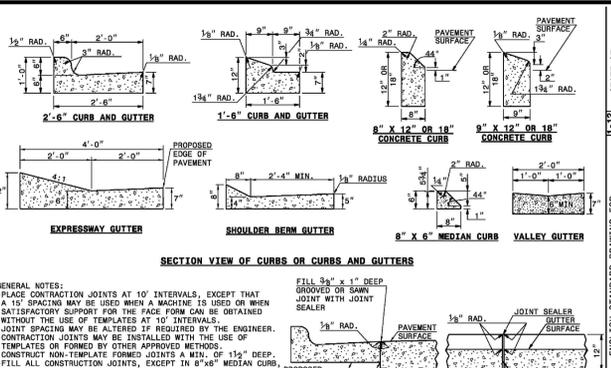
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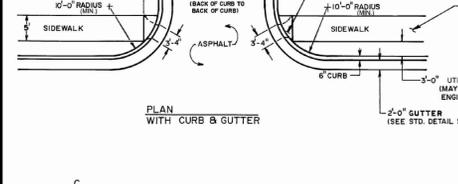
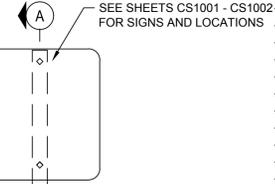
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		02/08	ER		



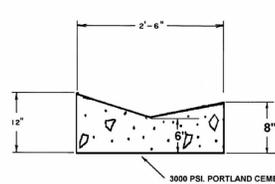
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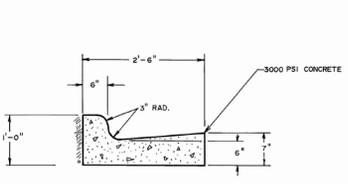
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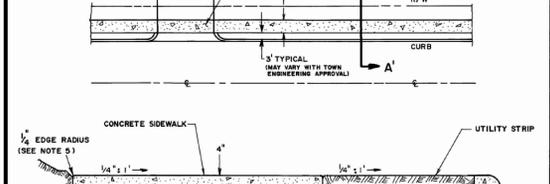
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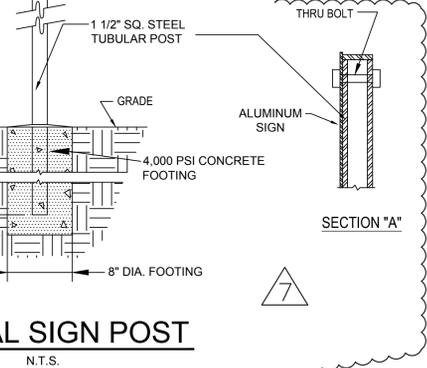
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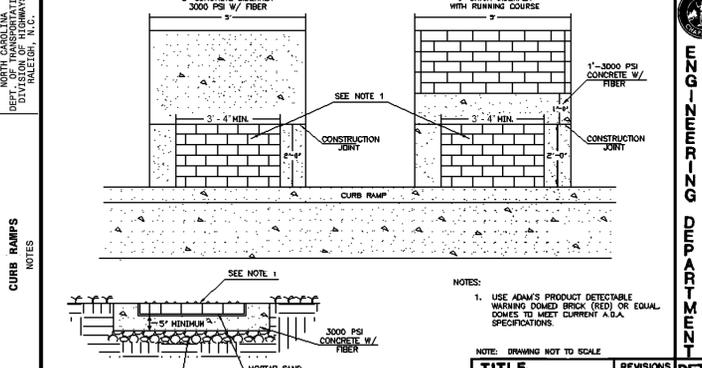
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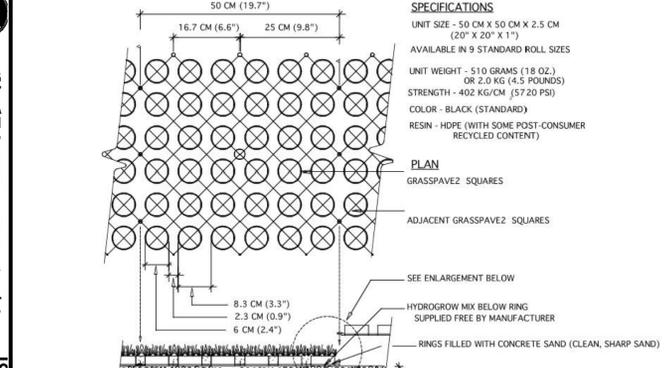
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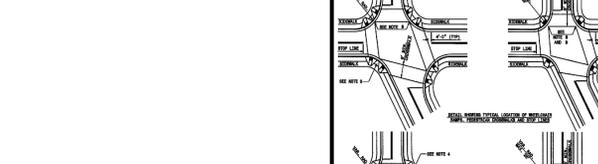
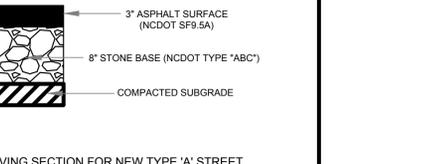
1. FOR COMMERCIAL & MULTI-FAMILY USES ONLY.
2. DRIVEWAYS TO BE GRADED TO DRAIN TOWARD STREET FROM PROPERTY LINE & AWAY FROM STREET FROM PROPERTY LINE UNLESS STORM DRAINAGE STRUCTURES ARE PROVIDED TO INTERCEPT STORM FLOW.
3. DRIVE GRADE PROFILE SHALL BE DESIGNED TO FIT IN WITH ULTIMATE WIDENING OF STREET.
4. SET BACK DISTANCE FROM INSIDE CROSSWALK MARKING TO NEAREST EDGE OF TRAVEL LANE IS 4' MINIMUM.
5. REFER TO THE PAVEMENT MARKING PLANS FOR STOP BAR LOCATIONS AT SIGNALIZED INTERSECTIONS. IF A PAVEMENT MARKING PLAN IS NOT PROVIDED, CONTACT THE SIGNAL DESIGN SECTION FOR THE STOP BAR LOCATIONS OR LOCATE AS DIRECTED BY THE ENGINEER.
6. TERMINATE PARKING A MINIMUM OF 20' BACK OF A PEDESTRIAN CROSSWALK.
7. CONSTRUCT CURB RAMP A MINIMUM OF 4' WIDE.
8. CONSTRUCT THE RUNNING SLOPE OF THE RAMP 0.3% MAXIMUM.
9. ALLOWABLE CROSS SLOPE ON SIDEWALKS AND CURB RAMP WILL BE 2% MAXIMUM.
10. CONSTRUCT THE SIDE FLARE SLOPE A MAXIMUM OF 10% MEASURED ALONG THE CURB LINE.
11. CONSTRUCT THE COUNTER SLOPE OF THE GUTTER OR STREET AT THE BASE OF THE CURB RAMP A MAXIMUM OF 5% AND MAINTAIN A SMOOTH TRANSITION.
12. CONSTRUCT LANDINGS FOR SIDEWALK A MINIMUM OF 4'x4' WITH A MAXIMUM SLOPE OF 2% IN ANY DIRECTION. CONSTRUCT LANDINGS FOR MEDIAN ISLANDS A MINIMUM OF 5'x5' WITH A MAXIMUM SLOPE OF 2% IN ANY DIRECTION.
13. TO USE A MEDIAN ISLAND AS A PEDESTRIAN REFUGE AREA, MEDIAN ISLANDS WILL BE A MINIMUM OF 6' WIDE. CONSTRUCT MEDIAN ISLANDS TO PROVIDE PASSAGE OVER OR THROUGH THE ISLAND.
14. SMALL CHANNELIZATION ISLANDS THAT CAN NOT PROVIDE A 5'x5' LANDING AT THE TOP OF A RAMP, WILL BE CUT THROUGH LEVEL WITH THE SURFACE STREET.
15. CURB RAMP WITH RETURNED CURBS MAY BE USED ONLY WHERE PEDESTRIANS WOULD NOT NORMALLY WALK ACROSS THE RAMP. THE ADJACENT SURFACE IS PLANTING OR OTHER NON-WALKING SURFACE OR THE SIDE APPROACH IS SUBSTANTIALLY OBSTRUCTED.
16. PLACE A 1/2" EXPANSION JOINT WHERE THE CONCRETE CURB RAMP JOINS THE CURB AS SHOWN IN PLANS IN ROADWAY STANDARD DRAWING 848.01
17. PLACE ALL PEDESTRIAN PUSH BUTTON ACTUATORS AND CROSSING SIGNALS AS SHOWN IN THE MUTCD.
18. CURB RAMPS THROUGH MEDIAN ISLANDS, SINGLE RAMPS AT DUAL SIDEWALKS OR LIMITED R/W SITUATIONS, WILL BE HANDLED BY SPECIAL DETAILS. CONTACT THE CONTRACT STANDARDS AND DEVELOPMENT UNIT FOR THE DETAILS OR FOR A SPECIAL DESIGN.



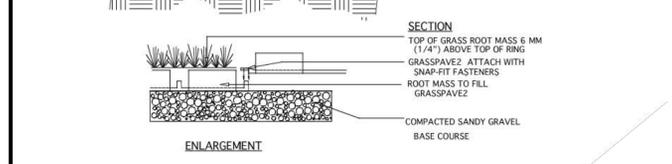
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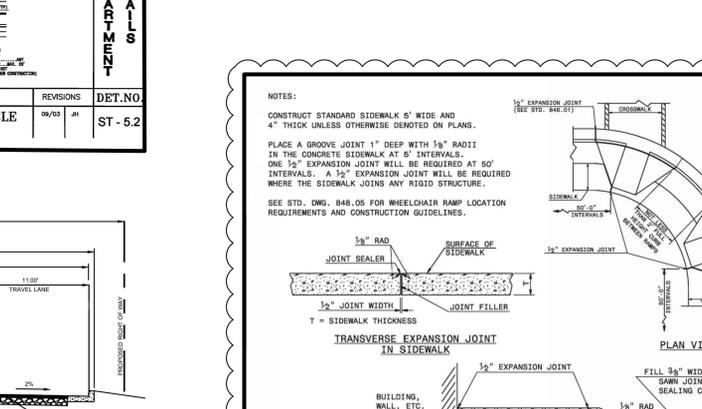
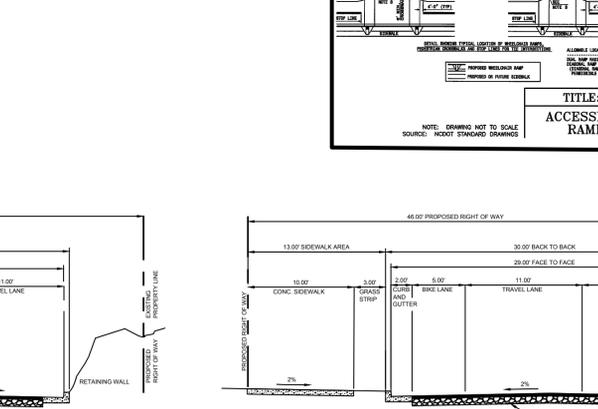
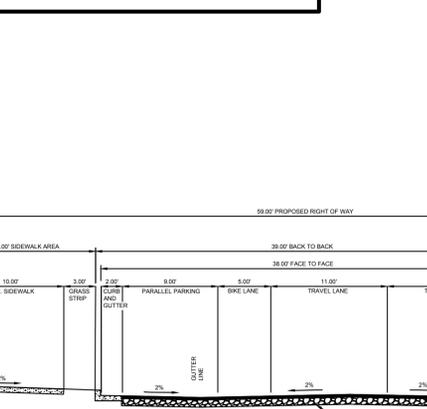
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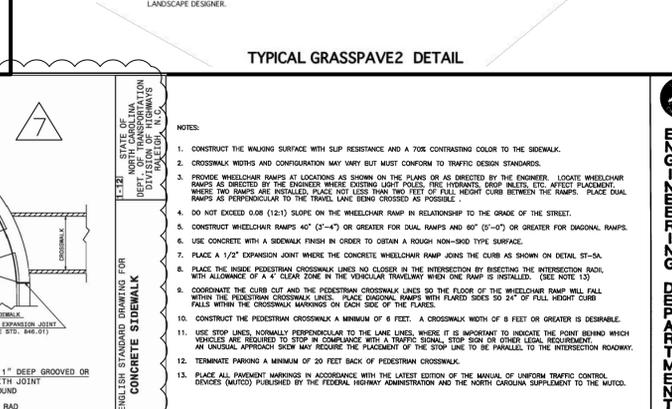
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TITLE:	ACCESSIBLE RAMP	REVISIONS		DET. NO.	ST-5.2



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TITLE:	ACCESSIBLE RAMP	REVISIONS		DET. NO.	ST-5.4

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TITLE:	ACCESSIBLE RAMP	REVISIONS		DET. NO.	ST-5.4

TITLE:	ACCESSIBLE RAMP	REVISIONS		DET. NO.	ST-5.4

Pennoni
Firm License F-1287
PENNONI ASSOCIATES, INC.
401 Providence Road #200
Chapel Hill, NC 27514
T 919.929.1173 F 919.495.6548

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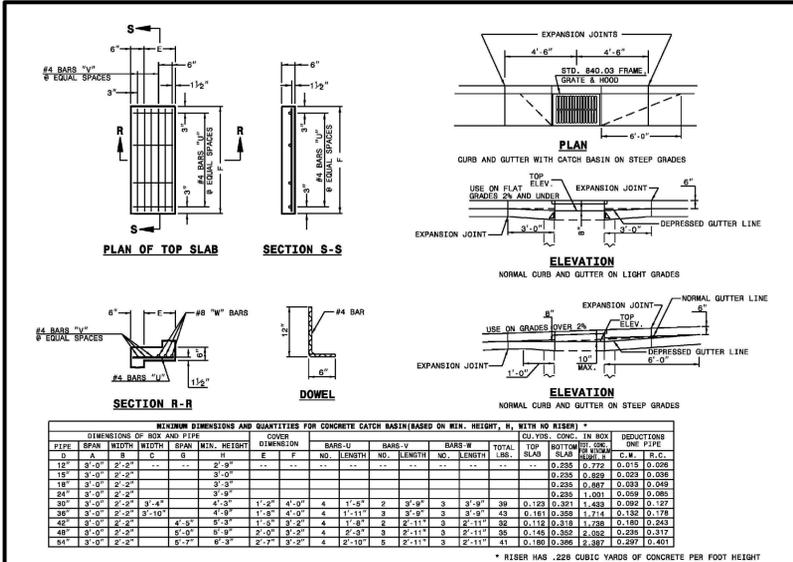
HILLSTONE CHAPEL HILL
1000 & 2000 NOVIUS LANE
CHAPEL HILL, NORTH CAROLINA 27514

LEON CAPITAL GROUP
5970 FAIRVIEW ROAD, SUITE 450
CHARLOTTE, NORTH CAROLINA 28210

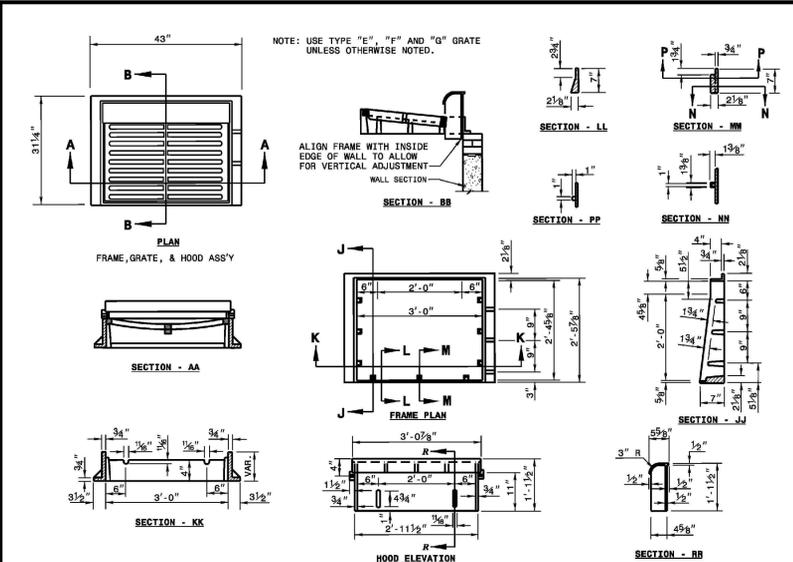
JOB	JOB	TAS	WRA	WRA	WRA	WRA	BY
FINAL ARCHITECTURAL COORDINATION	FINAL ARCHITECTURAL COORDINATION	TOWN COMMENT REVISIONS REVIEW #5	TOWN COMMENT REVISIONS REVIEW #4	TOWN COMMENT REVISIONS REVIEW #3	TOWN COMMENT REVISIONS REVIEW #2	REVISIONS AS PER TOWNS REVIEW COMMENTS	

JOB	JOB	TAS	WRA	WRA	WRA	WRA	BY
FINAL ARCHITECTURAL COORDINATION	FINAL ARCHITECTURAL COORDINATION	TOWN COMMENT REVISIONS REVIEW #5	TOWN COMMENT REVISIONS REVIEW #4	TOWN COMMENT REVISIONS REVIEW #3	TOWN COMMENT REVISIONS REVIEW #2	REVISIONS AS PER TOWNS REVIEW COMMENTS	

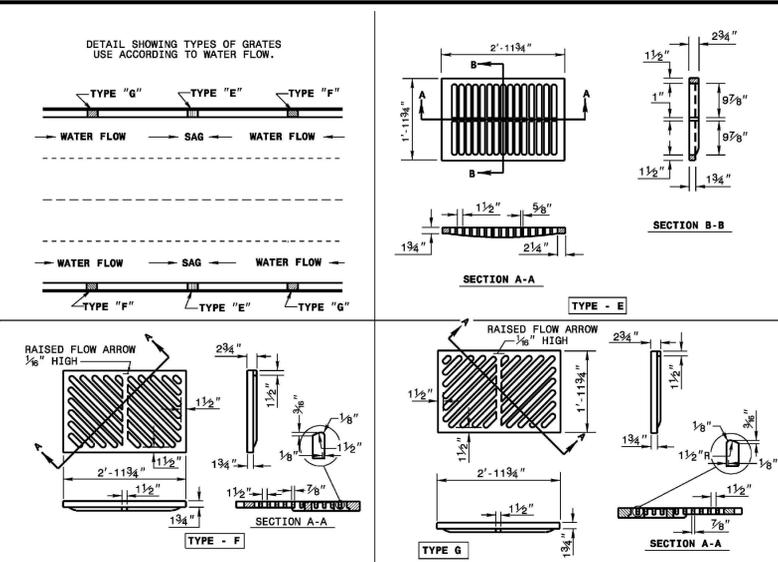
PROJECT: LCGR1602
DATE: DECEMBER 7, 2016
DRAWING SCALE: 1" = 30'
DRAWN BY: WRA
APPROVED BY: JUB
CS6001
SHEET 21 OF 28



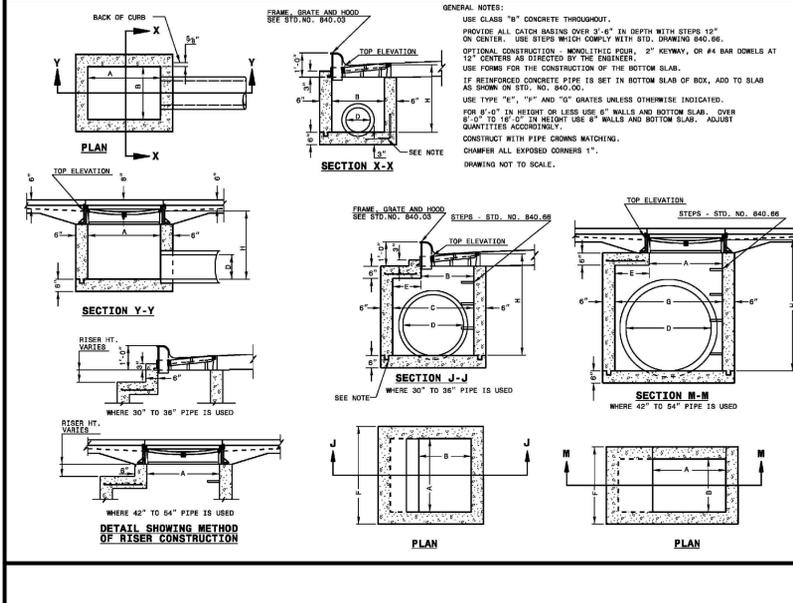
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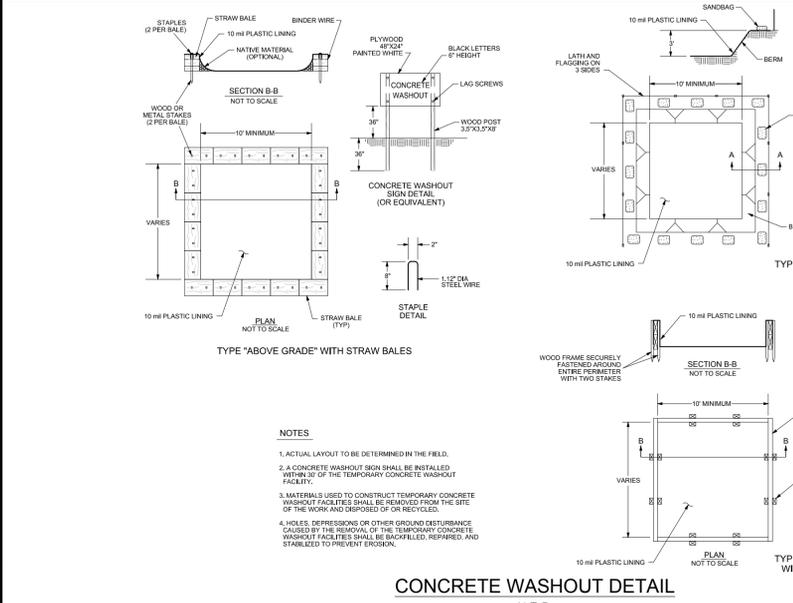
ENGLISH STANDARD DRAWING FOR FRAME, GRATES, AND HOOD FOR USE ON STANDARD CATCH BASIN



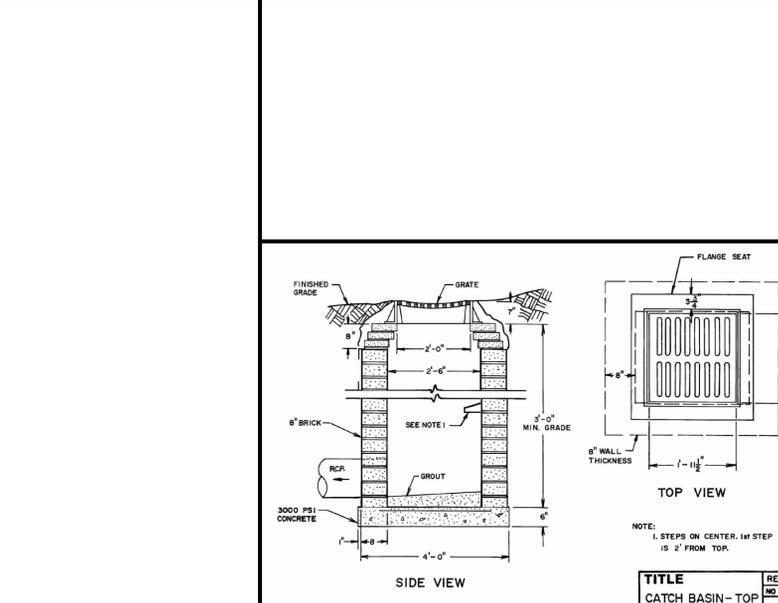
ENGLISH STANDARD DRAWING FOR CATCH BASIN - TOP VIEW & SIDE VIEW



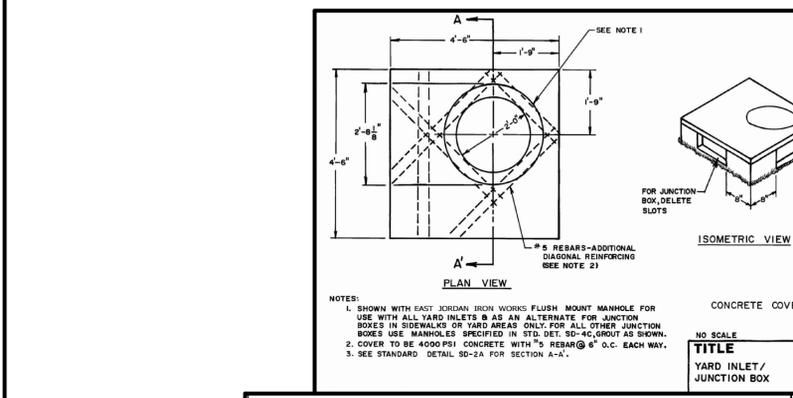
ENGLISH STANDARD DRAWING FOR CONCRETE WASHOUT DETAIL N.T.S.



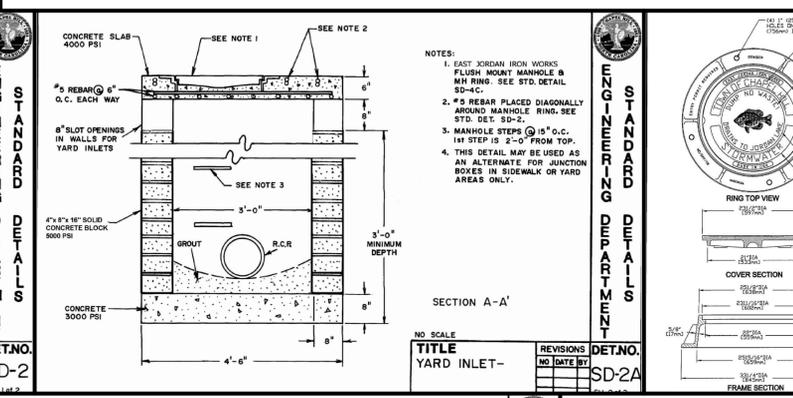
ENGLISH STANDARD DRAWING FOR CURB INLET - SIDE VIEW



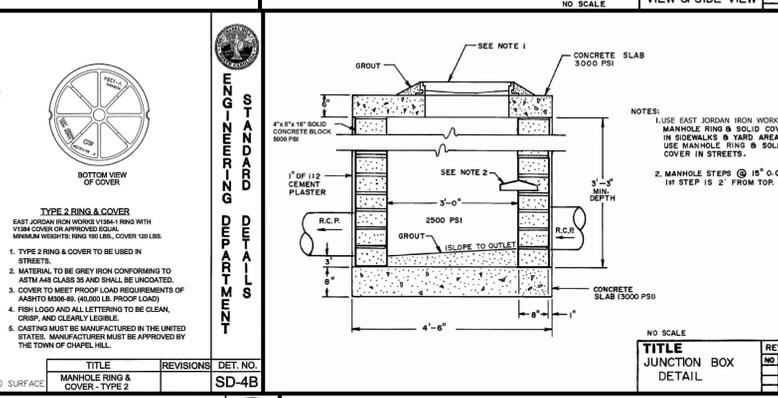
ENGLISH STANDARD DRAWING FOR CURB INLET - TOP VIEW



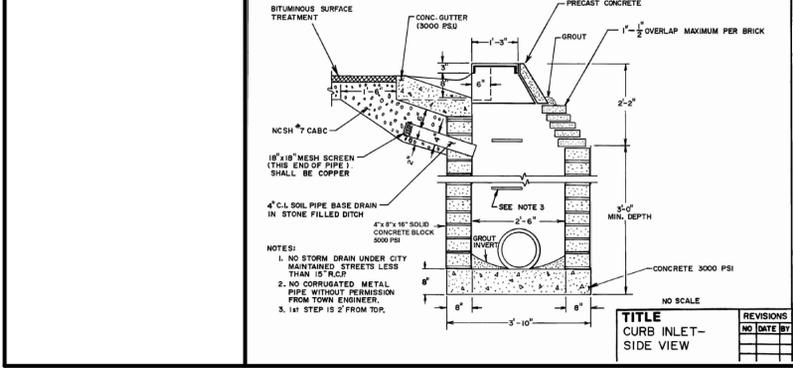
ENGLISH STANDARD DRAWING FOR CURB INLET - FRONT VIEW



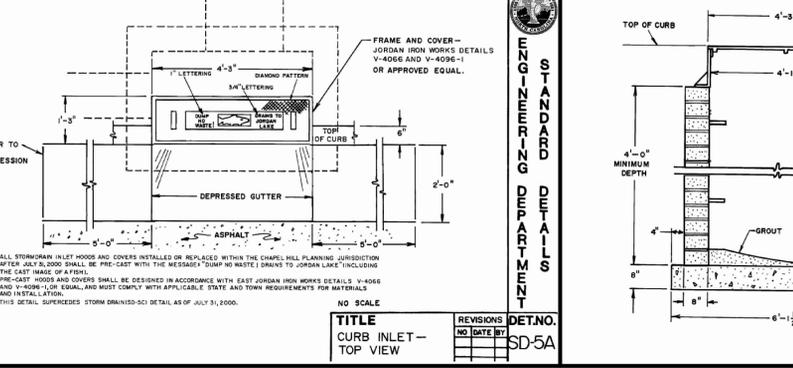
ENGLISH STANDARD DRAWING FOR CURB INLET HOOD AND COVER



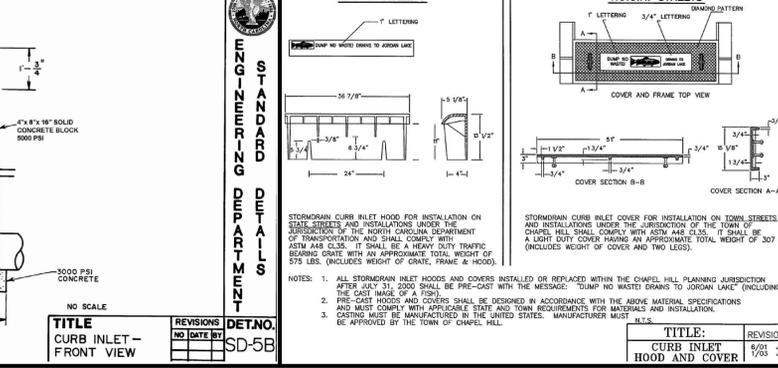
ENGLISH STANDARD DRAWING FOR CURB INLET HOOD AND COVER



ENGLISH STANDARD DRAWING FOR STORM DRAIN



ENGLISH STANDARD DRAWING FOR STORM DRAIN



ENGLISH STANDARD DRAWING FOR STORM DRAIN

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CHARLOTTE, NORTH CAROLINA 28210

STANDARD ENGINEERING DEPARTMENT

DRAINAGE DETAILS

JOB	JUB	TAS	WRA	WRA	WRA	WRA	BY
REVIEW COMMENT FINAL COORDINATION							
FINAL ARCHITECTURAL COORDINATION							
TOWN COMMENT REVISIONS REVIEW #5							
TOWN COMMENT REVISIONS REVIEW #4							
TOWN COMMENT REVISIONS REVIEW #3							
TOWN COMMENT REVISIONS REVIEW #2							
REVISIONS AS PER TOWNS REVIEW COMMENTS							
NO.							

REVISIONS	NO.	DATE	BY
7			
6			
5			
4			
3			
2			
1			
NO.			

CS6021

SHEET 22 OF 28

GENERAL NOTES:

THE STORM CAPTURE™ SYSTEM BY OLDCASTLE PRECAST IS PART OF THE STORMWATER MANAGEMENT SYSTEM FOR THE RESPECTIVE SITE, AS PREPARED BY THE PROJECT DESIGN ENGINEER. IT IS THE RESPONSIBILITY OF THE DESIGN ENGINEER TO DETERMINE DESIGN FLOW RATES, PRE-TREATMENT AND POST-TREATMENT REQUIREMENTS, STORAGE VOLUME, AND ENSURE THE FINAL DESIGN MEETS ALL CONVEYANCE AND STORAGE REQUIREMENTS. SYSTEM DESIGN AND TYPE, SOIL ANALYSIS, LOADING REQUIREMENTS, COVER HEIGHT AND MODULE SIZE DETERMINE THE FOUNDATION TYPE AND REQUIREMENTS AS STATED HEREIN. ANY VARIATIONS FOUND DURING CONSTRUCTION FROM THE SITE AND SYSTEM ANALYSIS MUST BE REPORTED TO THE PROJECT DESIGN ENGINEER. THE PROJECT DESIGN ENGINEER IS RESPONSIBLE FOR OBTAINING A GEOTECHNICAL ENGINEERING REPORT VERIFYING THE BEARING CAPACITY STATED IN DESIGN NOTES.

DESIGN NOTES:

1. DESIGN LOADINGS:
 - A. AASHTO HS-20-44 W/ IMPACT.
 - B. DEPTH OF COVER = 6" - 5'-0".
 - C. ASSUMED WATER TABLE = BELOW BOTTOM.
 - D. EQUIVALENT FLUID PRESSURE = 45 PCF.
 - E. LATERAL LIVE LOAD SURCHARGE = 80 PSF.
2. CONCRETE 28 DAY COMPRESSIVE STRENGTH SHALL BE 6,000 PSI.
3. STEEL REINFORCEMENT: REBAR, ASTM A-615, GRADE 60.
4. CEMENT: ASTM C-150 SPECIFICATION.
5. STORM CAPTURE MODULE TYPE = DETENTION.
6. REQUIRED BASE LAYER DEPTH = 2" SAND BEDDING LAYER.
7. REQUIRED NATIVE ALLOWABLE SOIL BEARING PRESSURE = 2,500 PSF.
8. REFERENCE STANDARDS:
 - A. ASTM C 890
 - B. ASTM C 913
9. LESS THAN 6" OR GREATER THAN 5' OF COVER REQUIRES CUSTOM STRUCTURAL DESIGN AND MAY REQUIRE THICKER SUBGRADE.

INSTALLATION NOTES:

THE STORM CAPTURE™ MODULE SYSTEM IS TO BE INSTALLED IN ACCORDANCE WITH ASTM C891-90. INSTALLATION OF UNDERGROUND PRECAST UTILITY STRUCTURES, PROJECT PLAN AND SPECIFICATIONS MUST BE FOLLOWED ALONG WITH ANY APPLICABLE REGULATIONS.

1. PLAN LINE, GRADE AND ELEVATIONS MUST BE FOLLOWED.
2. WHERE SPECIFIED, AN 8 OZ. NON-WOVEN GEOTEXTILE MUST BE USED AS A SEPARATION LAYER AROUND THE STORM CAPTURE SYSTEM.
3. SUBGRADE MATERIALS, IF SPECIFIED, SHOULD BE CLEAN, DURABLE CRUSHED AGGREGATE COMPACTED AS DIRECTED BY THE ENGINEER, OLDCASTLE RECOMMENDS SIZE 5, 56, OR 57 (PER ASTM C33).
4. DESIGNATED EMBEDDED LIFTERS MUST BE USED. USE PROPER RIGGING TO ASSURE ALL LIFTERS ARE EQUALLY ENGAGED WITH A MINIMUM 60 DEGREE ANGLE ON SLINGS AS NOTED AND IN ACCORDANCE WITH OLDCASTLE LIFTING PROCEDURES.
5. MODULES MUST BE PLACED AS CLOSE TOGETHER AS POSSIBLE. AND GAPS SHALL NOT BE GREATER THAN 3/4". ALL EXTERIOR SYSTEM JOINTS SHALL BE COVERED WITH A MIN. 8" JOINT WRAP ON SIDES AND TOP (CS-212 CONSEAL OR EQUIVALENT), IN A CLAMHELL DESIGN INSTALL ONE ROW CS-102 CONSEAL (OR EQUIVALENT) BETWEEN PRECAST PIECES.
6. AUTHORIZATION SHOULD BE GIVEN BY THE PROJECT ENGINEER OR DESIGNATED PERSON PRIOR TO PLACEMENT ON BACKFILL FOR THE SYSTEM. CARE SHOULD BE TAKEN DURING PLACEMENT OF BACKFILL NOT TO DISPLACE MODULES OR JOINT WRAP. BACKFILL SHALL BE COMPACTED TO 95% STANDARD PROCTOR DENSITY OR AS SPECIFIED, AND SHOULD NOT BE COMPACTED WITHIN 6" OF MODULE.
7. CONSTRUCTION EQUIPMENT EXCEEDING DESIGN LOADING SHALL NOT BE ALLOWED ON STRUCTURE.
8. TERMAUDUCTS TO BE KNOCKED OUT AT SPECIFIED LOCATIONS IN FIELD BY OTHERS. SEE SITE LAYOUT FOR LOCATIONS.
9. REINFORCEMENT BEAMS REQUIRED FOR ALL LINK SLABS THAT BORDER PERIMETER MODULES (SEE PLAN DRAWING).

INLETS AND RISERS:

ALL PIPE INLETS SHALL EXTEND INSIDE MODULE A MINIMUM OF 4". PLACE A NON-SHRINK, NON-METALIC GROUT, MIN. 3,000 PSI IN ANNULAR SPACE TO ELIMINATE ALL VOIDS.

STORM CAPTURE MAINTENANCE:

STORM CAPTURE MODULE - SYSTEM INSPECTION AND MAINTENANCE
 THE STORM CAPTURE SYSTEM EXCELS WHERE MOST OTHER SYSTEMS FAIL. INCORPORATING FEATURES PROVIDING FOR MAXIMUM SYSTEM PERFORMANCE AND LIFE CYCLE. THE STORM CAPTURE SYSTEM IS A MAJOR COMPONENT OF THE STORMWATER MANAGEMENT SYSTEM. DESIGN AND FUNCTION OF THE SYSTEM IS THE RESPONSIBILITY OF THE PROJECT ENGINEER. MAINTENANCE OF THE STORM CAPTURE IS VITAL FOR SATISFACTORY PERFORMANCE AND LIFE CYCLE OF THE STORMWATER MANAGEMENT SYSTEM. PERMIT REQUIREMENTS, LOCAL, STATE AND FEDERAL REGULATIONS, ALONG WITH OLDCASTLE AND ANY INCORPORATED DEVICE MANUFACTURER RECOMMENDATIONS MUST BE FOLLOWED FOR SYSTEM COMPLIANCE. STORM CAPTURE DESIGN PROVIDES MANWAY ACCESS FOR EASE OF INSPECTION AND DEBRIS REMOVAL IF REQUIRED. FLUSHING, WHICH CAN CAUSE PARTICLE DISPLACEMENT, UNDERMINING, AND INTERNAL DISTURBANCE, IS NOT RECOMMENDED FOR GRAVEL FOUNDATION, OPEN BOTTOM SYSTEMS. FLUSHING IS ACCEPTABLE IN SYSTEMS WITH CONCRETE BASES. INLET CONTROLS, INTERNAL OR EXTERNAL, ARE RECOMMENDED FOR CONTROLLING, MONITORING, AND MAINTAINING THE STORM CAPTURE SYSTEM.

EXTERNAL INLETS ARE TYPICALLY DEVICES THAT ARE SEPARATE FROM THE STORM CAPTURE MODULES. THESE EXTERNAL DEVICES RECEIVE SITE STORMWATER AND ARE DESIGNED WITH MANWAY ACCESS FOR MAINTENANCE AND TYPICALLY INCLUDE AN INTERNAL SUMP FOR SEDIMENT CAPTURE. EXTERNAL INLETS MAY RECEIVE SINGLE OR MULTIPLE PIPES AND INCORPORATE AN OPEN GRATED TOP WITH AN OUTFALL PIPE TO THE STORM CAPTURE SYSTEM. GRATED INLETS MAY INCORPORATE PROTECTION DEVICES OR BAFFLES TO CAPTURE FLOATABLES OR THE "FIRST FLUSH." SCHEDULED INSPECTIONS AND MAINTENANCE SHOULD INCLUDE THE REMOVAL OF ANY SEDIMENTATION BUILD-UP, DEBRIS OR SEDIMENTATION BUILD-UP SHOULD NOT EXCEED 3" BELOW AN OUTFALL ELEVATION. INTERNAL COMPONENTS CAN BE INCORPORATED FOR PRE-TREATMENT, MANUFACTURER RECOMMENDATIONS SHOULD BE FOLLOWED. SCHEDULED MAINTENANCE AND INSPECTION WILL INCLUDE REMOVAL OF DEBRIS BY MANUAL OR MECHANICAL MEANS.

MAINTENANCE MODULES (MM's) ARE OPTIONAL INTERNAL CONTROL MODULES BASED ON DESIGN PREFERENCE. MM's ARE MODULES WITH ROOF MANWAY ACCESS OPENINGS AND PROVIDE THE PRIMARY MEANS OF ACCESS TO THE STORM CAPTURE SYSTEM FOR SCHEDULED INSPECTION AND MAINTENANCE. IN ADDITION, MM's CAN INCORPORATE WEIRS OR BAFFLES TO ENHANCE REDUCTION OR REMOVAL OF TOTAL SUSPENDED SOLIDS (TSS) FROM THE STORMWATER. PLACEMENT OF INTERNAL COMPONENTS MUST BE PART OF THE SYSTEM ENGINEERING AND DESIGN. GRATED INLETS CAN BE INCORPORATED TO ACCOMMODATE SURFACE STORMWATER FLOWS INTO THE STORM CAPTURE AND MAY INCLUDE AN INLET PROTECTION DEVICE. SCHEDULED INSPECTION AND MANUFACTURER RECOMMENDATIONS FOR MAINTENANCE SHOULD BE FOLLOWED.

CONCRETE SPLASH PADS MAY BE INSTALLED BELOW INLET GRATE OPENINGS AND PIPE INLETS TO PREVENT BASE EROSION DURING SCHEDULED INSPECTION AND MAINTENANCE ACTIVITIES. THE CONCRETE SPLASH PADS MUST BE INSPECTED FOR PROPER FUNCTION AND ANY SEDIMENT SHOULD BE REMOVED. STANDARD STORM CAPTURE MODULE DESIGN INCORPORATES "WINDOWS" TO ACCOMMODATE INTERNAL STORMWATER CONVEYANCE BETWEEN MODULES. STANDARD PLACEMENT IS 12" ABOVE THE INTERNAL MODULE INVERT. ANY SEDIMENT AND DEBRIS BUILD-UP OVER 6" INSIDE A MODULE SHOULD BE REMOVED BY MANUAL OR MECHANICAL MEANS. REMOVAL BY VACUUM IS RECOMMENDED. INTERNAL MODULE FLUSHING, WHICH CAN CAUSE PARTICLE DISPLACEMENT, UNDERMINING, OR INTERNAL DISTURBANCE, IS NOT RECOMMENDED.

OLDCASTLE RECOMMENDS THAT THE STORM CAPTURE SYSTEM BE INSPECTED QUARTERLY, AND FOLLOWING ANY SIGNIFICANT RAIN EVENTS, WITHIN THE FIRST YEAR OF OPERATION. STANDARD OPERATING PROCEDURES SHOULD SPECIFY AN ANNUAL INSPECTION AND MAINTENANCE PLAN AS REQUIRED THEREAFTER OR AS STATED IN THE PERMIT OR AS REQUIRED BY OTHER GOVERNING REGULATIONS. ONLY AUTHORIZED AND TRAINED PERSONNEL SHOULD INSPECT AND ENTER A STORM CAPTURE SYSTEM. IT IS IMPORTANT THAT PERSONNEL BE PROPERLY TRAINED AND EQUIPPED BEFORE ENTERING ANY UNDERGROUND OR CONFINED SPACE STRUCTURE. TRAINING INCLUDES BEING FAMILIAR WITH AND FOLLOWING LOCAL, STATE, AND FEDERAL REGULATIONS GOVERNING THE OPERATION, INSPECTION, AND MAINTENANCE OF UNDERGROUND STRUCTURES, AS WELL AS SPECIFIC STORM CAPTURE INFILTRATION SYSTEM REQUIREMENTS.

**- PRELIMINARY -
NOT FOR CONSTRUCTION**



7621 SOUTH PARK PLAZA, SUITE 200, LITTLETON, CO
 PHONE: 303.949.0027 FAX: 303.949.7407

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STORM CAPTURE - SAND FILTER MAINTENANCE

CUSTOMER: PENNONI ASSOCIATES INC.

DATE	SALES	DRAWN	ENGINEER	CHECKED	SALES ORDER
5/7/14	MB	ARG	ARG		
DATE	REVISION	SHEET			
REV DATE	3	OF 3			

DRAWING NUMBER: SCDD-00874_SCF_SF_1



NOTES:

1. THE MEDIA IN THE SAND FILTER SHALL BE CLEANED, WASHED, COARSE MASONRY SAND SUCH AS ASTM C33. THE SAND PARTICLES SHALL BE LESS THAN 2mm AVERAGE.
2. A COPY OF THE PURCHASE RECEIPT FOR THE SAND MATERIAL USED IN FILLING THE SYSTEM SHALL BE PROVIDED WITH THE AS-BUILT SUBMITTALS PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY. THE PURCHASE RECEIPT SHALL IDENTIFY THE ASTM SPECIFICATION.
3. PICTURES OF THE WEIR AND ORIFICES IN THE UNDERGROUND DETENTION SYSTEM SHALL BE PROVIDED WITH THE AS-BUILT SUBMITTALS.



PENNONI ASSOCIATES, INC.
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 401 Providence Road #200
 Chapel Hill, NC 27514
 T 919.929.1173 F 919.493.6548

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

HILLSTONE CHAPEL HILL
 1000 & 2000 NOVUS LANE
 CHAPEL HILL, NORTH CAROLINA 27514

UNDERGROUND SANDFILTER WEST DETAILS

LEON CAPITAL GROUP
 5970 FAIRVIEW ROAD, SUITE 450
 CHARLOTTE, NORTH CAROLINA 28210

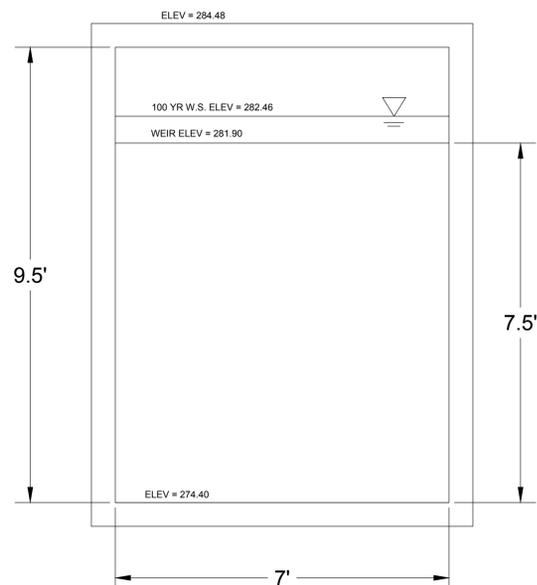
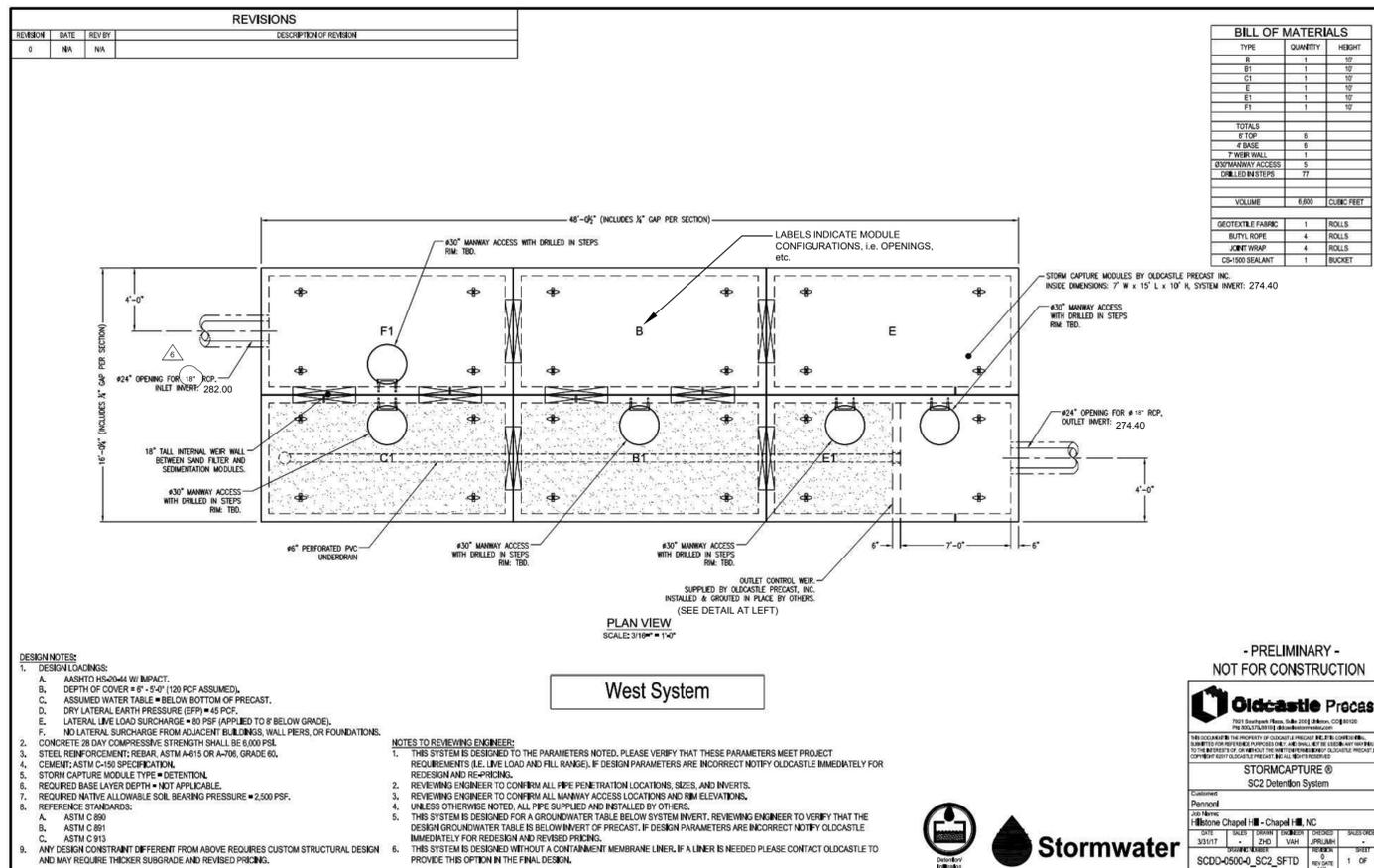
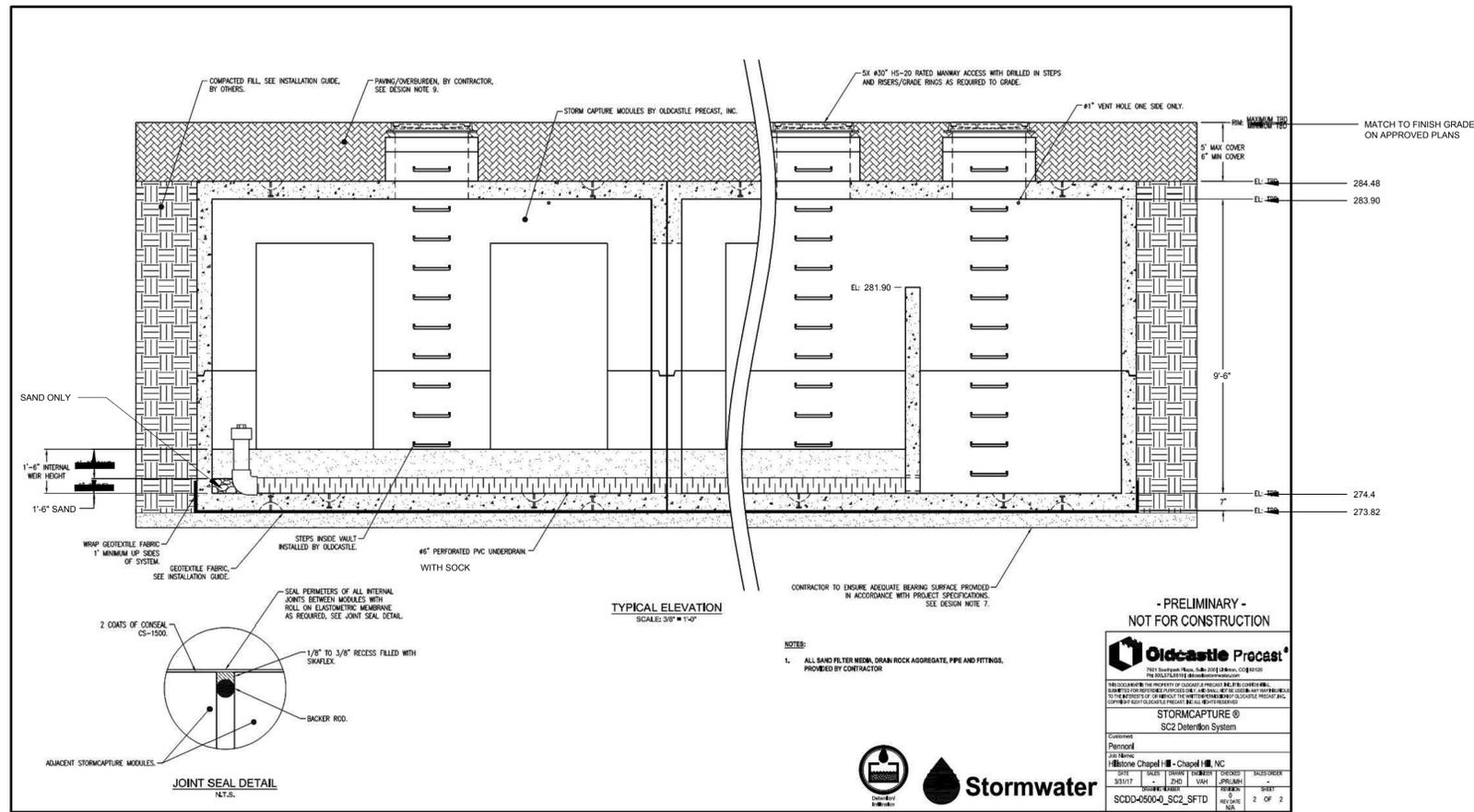
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7	REVIEW COMMENT FINAL COORDINATION	6	FINAL ARCHITECTURAL COORDINATION	5	TOWN COMMENT REVISIONS REVIEW #5	4	TOWN COMMENT REVISIONS REVIEW #4
		3	TOWN COMMENT REVISIONS REVIEW #3	2	TOWN COMMENT REVISIONS REVIEW #2	1	REVISIONS AS PER TOWN'S REVIEW COMMENTS
							REVISIONS
							DATE

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PROJECT	LCGR1602
DATE	DECEMBER 7, 2016
DRAWING SCALE	1" = 30'
DRAWN BY	WRA
APPROVED BY	JUB

CS6023
 SHEET 24 OF 28

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 PLOTTED: 26/01/2016 10:30 AM BY: David Cully
 PROJECT STATUS: DESIGN DEVELOPMENT
 PLOT STYLE: Penmon1.ctb



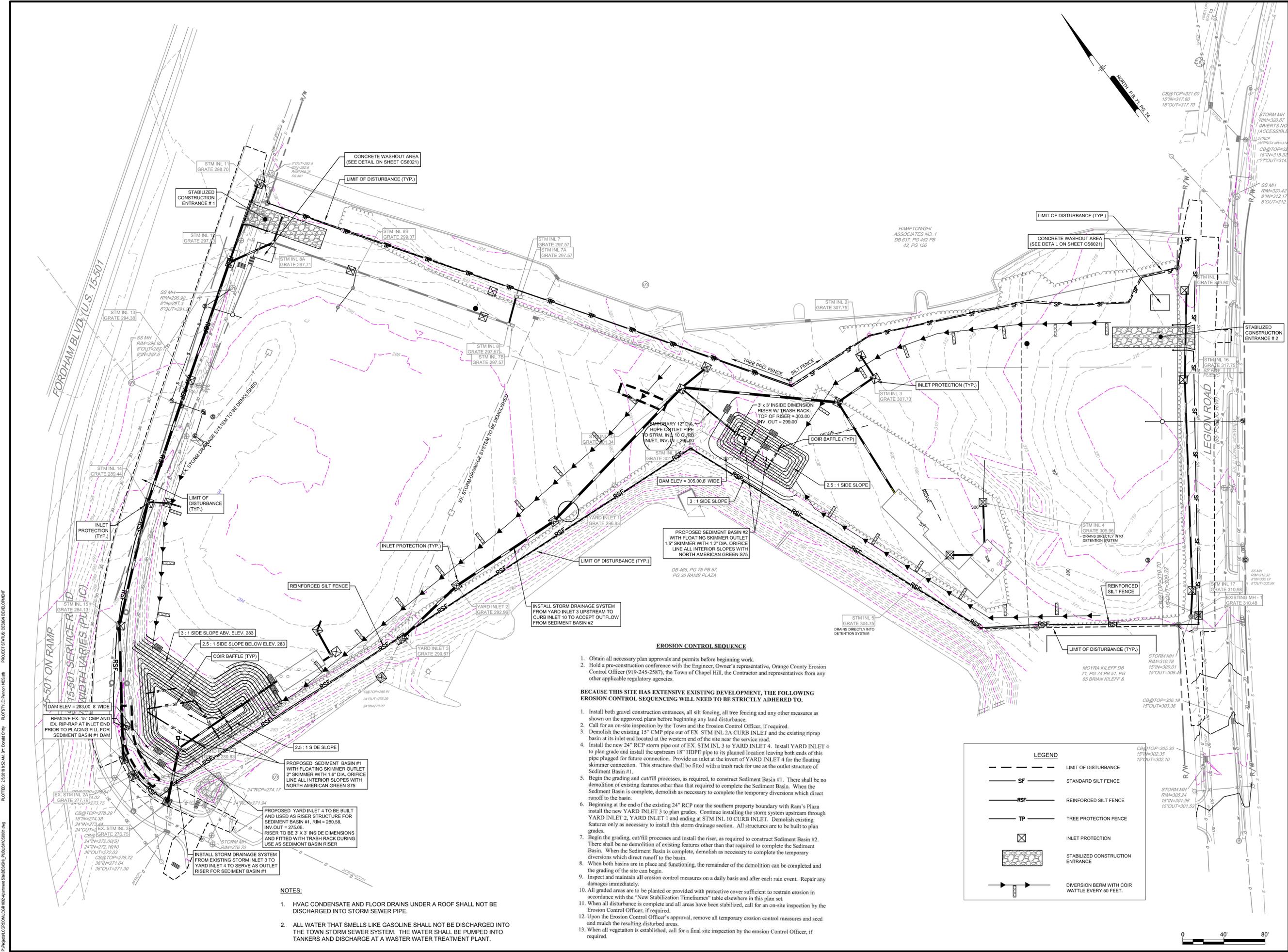
NOTES:

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- A COPY OF THE PURCHASE RECEIPT FOR THE SAND MATERIAL USED IN FILLING THE SYSTEM SHALL BE PROVIDED WITH THE AS-BUILT SUBMITTALS PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY. THE PURCHASE RECEIPT SHALL IDENTIFY THE ASTM SPECIFICATION.
- PICTURES OF THE WEIR AND ORIFICES IN THE UNDERGROUND DETENTION SYSTEM SHALL BE PROVIDED WITH THE AS-BUILT SUBMITTALS.
- ALL MANHOLE ACCESS LIDS TO BE SOLID TO PREVENT POLLUTANTS FROM SURFACE WATER FROM ENTERING THE SAND FILTER SYSTEM.

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

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CHAPEL HILL, NORTH CAROLINA 27514
UNDERGROUND DETENTION WEST DETAILS
LEON CAPITAL GROUP
5970 FAIRVIEW ROAD, SUITE 450
CHARLOTTE, NORTH CAROLINA 28210

JOB	JOB	TAS	WRA	WRA	WRA	WRA	BY
2/22/2018	7	REVIEW COMMENT FINAL COORDINATION					
11/29/2017	6	FINAL ARCHITECTURAL COORDINATION					
9/26/2017	5	TOWN COMMENT REVISIONS REVIEW #5					
7/31/2017	4	TOWN COMMENT REVISIONS REVIEW #4					
6/15/2017	3	TOWN COMMENT REVISIONS REVIEW #3					
4/7/2017	2	TOWN COMMENT REVISIONS REVIEW #2					
2/29/2017	1	REVISIONS AS PER TOWNS REVIEW COMMENTS					
	NO.	REVISIONS					



EROSION CONTROL SEQUENCE

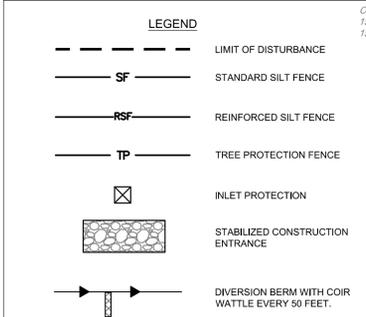
1. Obtain all necessary plan approvals and permits before beginning work.
2. Hold a pre-construction conference with the Engineer, Owner's representative, Orange County Erosion Control Officer (919-245-2587), the Town of Chapel Hill, the Contractor and representatives from any other applicable regulatory agencies.

BECAUSE THIS SITE HAS EXTENSIVE EXISTING DEVELOPMENT, THE FOLLOWING EROSION CONTROL SEQUENCING WILL NEED TO BE STRICTLY ADHERED TO.

1. Install both gravel construction entrances, all silt fencing, all tree fencing and any other measures as shown on the approved plans before beginning any land disturbance.
2. Call for an on-site inspection by the Town and the Erosion Control Officer, if required.
3. Demolish the existing 15" CMP pipe out of EX. STM INL 2A CURB INLET and the existing riprap basin at its inlet end located at the western end of the site near the service road.
4. Install the new 24" RCP storm pipe out of EX. STM INL 3 to YARD INLET 4. Install YARD INLET 4 to plan grade and install the upstream 18" HDPE pipe to its planned location leaving both ends of this pipe plugged for future connection. Provide an inlet at the invert of YARD INLET 4 for the floating skimmer connection. This structure shall be fitted with a trash rack for use as the outlet structure of Sediment Basin #1.
5. Begin the grading and cut/fill processes, as required, to construct Sediment Basin #1. There shall be no demolition of existing features other than that required to complete the Sediment Basin. When the Sediment Basin is complete, demolish as necessary to complete the temporary diversions which direct runoff to the basin.
6. Beginning at the end of the existing 24" RCP near the southern property boundary with Ram's Plaza install the new YARD INLET 3 to plan grades. Continue installing the storm system upstream through YARD INLET 2, YARD INLET 1 and ending at STM INL 10 CURB INLET. Demolish existing features only as necessary to install this storm drainage section. All structures are to be built to plan grades.
7. Begin the grading, cut/fill processes and install the riser, as required to construct Sediment Basin #2. There shall be no demolition of existing features other than that required to complete the Sediment Basin. When the Sediment Basin is complete, demolish as necessary to complete the temporary diversions which direct runoff to the basin.
8. When both basins are in place and functioning, the remainder of the demolition can be completed and the grading of the site can begin.
9. Inspect and maintain all erosion control measures on a daily basis and after each rain event. Repair any damages immediately.
10. All graded areas are to be planted or provided with protective cover sufficient to restrain erosion in accordance with the "New Stabilization Timeframes" table elsewhere in this plan set.
11. When all disturbance is complete and all areas have been stabilized, call for an on-site inspection by the Erosion Control Officer, if required.
12. Upon the Erosion Control Officer's approval, remove all temporary erosion control measures and seed and mulch the resulting disturbed areas.
13. When all vegetation is established, call for a final site inspection by the erosion Control Officer, if required.

NOTES:

1. HVAC CONDENSATE AND FLOOR DRAINS UNDER A ROOF SHALL NOT BE DISCHARGED INTO STORM SEWER PIPE.
2. ALL WATER THAT SMELLS LIKE GASOLINE SHALL NOT BE DISCHARGED INTO THE TOWN STORM SEWER SYSTEM. THE WATER SHALL BE PUMPED INTO TANKERS AND DISCHARGE AT A WASTER WATER TREATMENT PLANT.



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10038 EIGHTHORN BLVD
CHAPEL HILL, NORTH CAROLINA 27514

SOIL EROSION AND SEDIMENT CONTROL PLAN

LEON CAPITAL GROUP
5970 FAIRVIEW ROAD, SUITE 450
CHARLOTTE, NORTH CAROLINA 28210

JOB	JOB	TAS	WRA	WRA	WRA	WRA	BY
7	REVIEW COMMENT FINAL COORDINATION						
6	FINAL ARCHITECTURAL COORDINATION						
5	TOWN COMMENT REVISIONS REVIEW #5						
4	TOWN COMMENT REVISIONS REVIEW #4						
3	TOWN COMMENT REVISIONS REVIEW #3						
2	TOWN COMMENT REVISIONS REVIEW #2						
1	REVISIONS PER TOWN'S REVIEW COMMENTS						
NO.	DATE	REVISIONS					

PROJECT: **LCGR1602**
DATE: **DECEMBER 7, 2016**
DRAWING SCALE: **1" = 40'**
DRAWN BY: **WRA**
APPROVED BY: **JUB**

CS8001
SHEET 27 OF 28

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 PLOTTED: 26/12/2016 8:52 AM BY: Doreen O'Leary
 PROJECT STATUS: DESIGN DEVELOPMENT

INSTRUCTIONS FOR TEMPORARY STABILIZATION USING VEGETATION

INSTALLATION

- REFER TO PLANS FOR LOCATION, EXTENT, AND SPECIFICATIONS. IF THERE ARE QUESTIONS OR PROBLEMS WITH THE LOCATION, EXTENT, OR METHODS OF INSTALLATION, CONTACT THE ENGINEER, ARCHITECT, OR RESPONSIBLE PERSONNEL ON THE SITE FOR ASSISTANCE. EROSION CONTROL PERSONNEL HAVE COPIES OF INSTRUCTIONS AND MAY BE ABLE TO OFFER ASSISTANCE.
- IF THE DISTURBANCE IS NOT PROPERLY STABILIZED THE FIRST TIME SO THAT EROSION IS PREVENTED, THE SEEDING WILL HAVE TO BE REPEATED.
- USE THE APPLICATION RATES FOR LIME, FERTILIZER, SEED, MULCH, ETC. SPECIFIED IN THE PLAN, OR USE THE RATES BELOW FOR THE APPROPRIATE SEASON.

ALL SEASONS:

LIME: 50 POUNDS PER 1000 SQUARE FEET (5 TONS PER ACRE);
 FERTILIZER: 10-10-10; 16 POUNDS PER 1000 SQUARE FEET (1.6 TONS PER ACRE);
 STRAW MULCH: 5 POUNDS PER 1000 SQUARE FEET (0.5 TONS PER ACRE);
 USE ENOUGH STRAW TO COVER 75% OF THE GROUND.

MARCH - MAY

RYE GRASS: 1 POUND PER 1000 SQUARE FEET (150 POUNDS PER ACRE);
 QB SPRING OATS: 3 POUNDS PER 1000 SQUARE FEET (125 POUNDS PER ACRE);

MAY - AUGUST

MILLET: 1 POUND PER 1000 SQUARE FEET (40 POUNDS PER ACRE);
 QB SORGHUM HYBRIDS: 1 POUND PER 1000 SQUARE FEET (40 POUNDS PER ACRE);

AUGUST 15 - NOVEMBER 15

OATS: BEFORE OCTOBER 1: 2.5 POUNDS PER 1000 SQUARE FEET (125 POUNDS PER ACRE);
 QB WHEAT: AFTER OCTOBER 1: 2 POUNDS PER 1000 SQUARE FEET (180 POUNDS PER ACRE);

NOVEMBER 15 - FEBRUARY

VEGETATION IS NOT AN APPROPRIATE STABILIZATION DURING THESE SEASONS; USE ANOTHER TYPE OF TEMPORARY GROUND COVER, SUCH AS MULCHING.

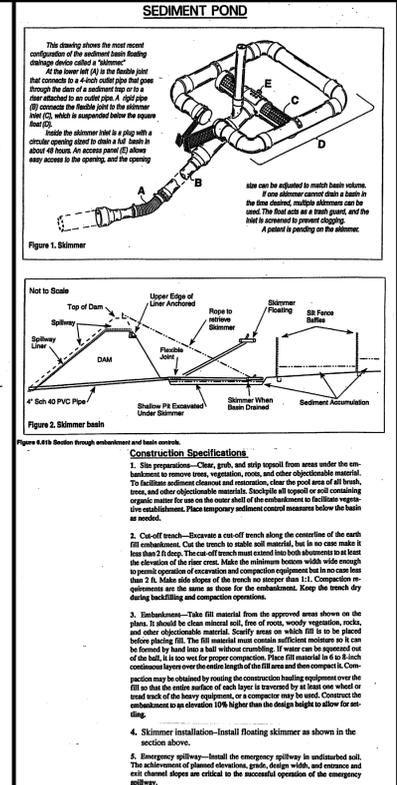
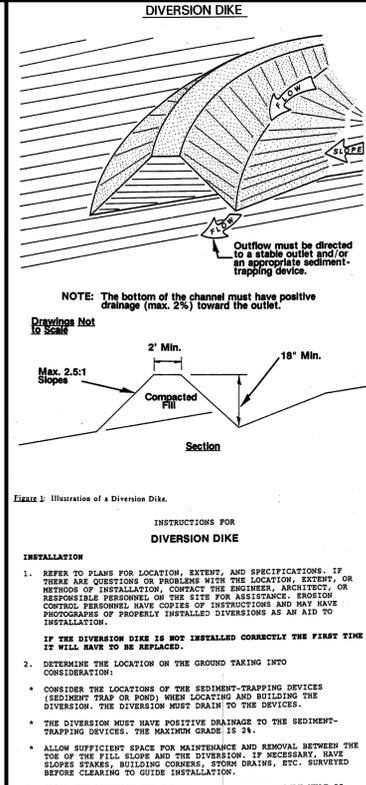
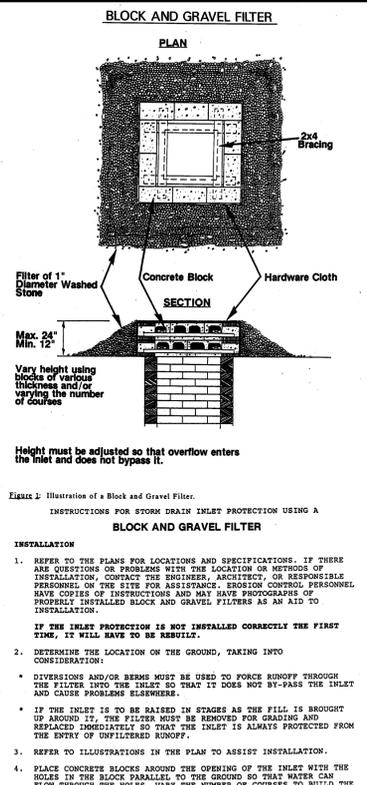
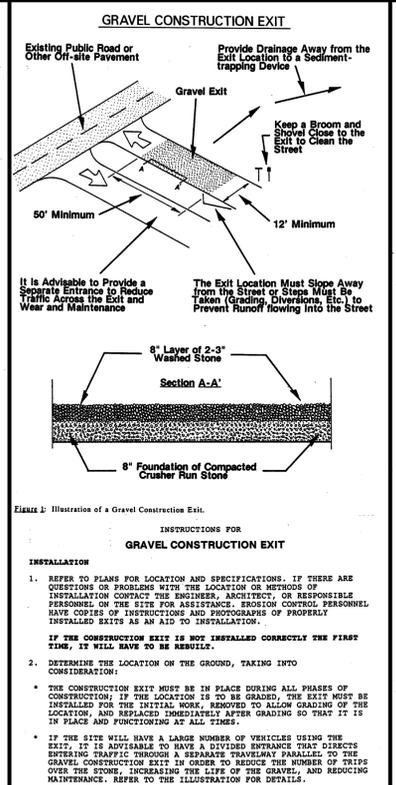
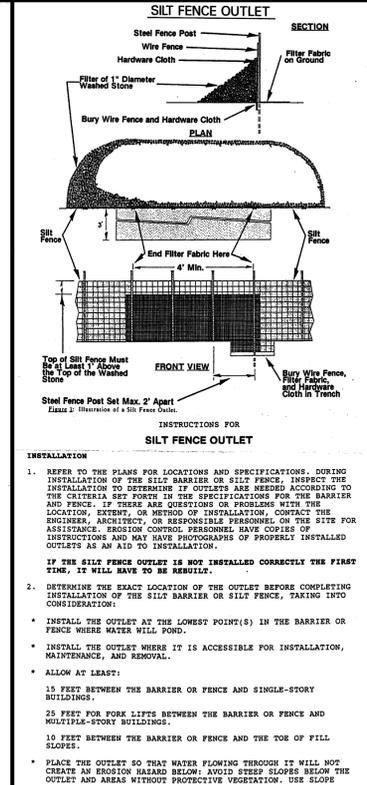
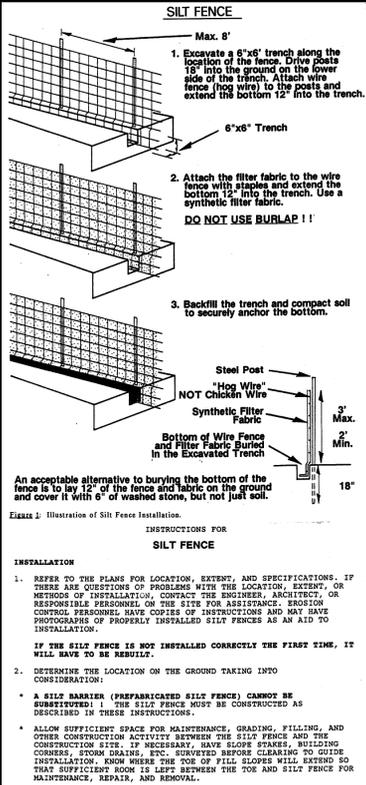
3. SEEDING PREPARATION: REMOVE ROCKS, STUMPS, ROOTS, ETC. SINCE THEY WILL INTERFERE WITH SEEDING AND MAINTENANCE. THE SMOOTH, CONTACTED SURFACE OF CUT AND FILL SLOPES IS NOT A GOOD SEED BED. APPLY LIME AND FERTILIZER, THEN RIP THE SOIL 4-6 INCHES TO MIX THE NUTRIENTS INTO THE SOIL AND TO LOOSEN AND ROUGHEN IT TO RECEIVE THE SEED.

4. SEEDING: APPLY SEED AT THE RECOMMENDED RATE, AND GO OVER THE SURFACE WITH A CULTIPACKER WHERE POSSIBLE TO BRING THE SEED INTO CONTACT WITH THE SOIL.

5. MULCHING: THE AREA SEEDED MUST BE MULCHED TO PROTECT THE BARE SOIL UNTIL THE VEGETATION IS ESTABLISHED AND TO RETAIN MOISTURE TO PROMOTE SEED GERMINATION AND PLANT GROWTH. APPLY ENOUGH MULCH TO COVER 75% OF THE SOIL SURFACE. TO KEEP IT IN PLACE AND PREVENT WIND OR WATER FROM DISLOGGING IT, THE MULCH SHOULD BE HELD IN PLACE BY TACKLING IT WITH ASPHALT OR COVERING IT WITH NETTING.

MAINTENANCE

AREAS MUST BE RESEDED AND MULCHED WHERE THE VEGETATION FAILS TO ESTABLISH ITSELF OR IS DAMAGED BY RUNOFF OR CONSTRUCTION ACTIVITY. IF THE VEGETATION SHOULD FAIL FOR ANY REASON BEFORE THE PERMANENT STABILIZATION IS PROVIDED, IT MUST BE REPLACED WITH AN APPROPRIATE TYPE OF COVER SUITABLE FOR THE RESTRAIN EROSION.



INSTRUCTIONS FOR PERMANENT STABILIZATION USING VEGETATION

INSTALLATION

- REFER TO PLANS FOR LOCATION, EXTENT, AND SPECIFICATIONS. IF THERE ARE QUESTIONS OR PROBLEMS WITH THE LOCATION, EXTENT, OR METHODS OF INSTALLATION, CONTACT THE ENGINEER, ARCHITECT, OR RESPONSIBLE PERSONNEL ON THE SITE FOR ASSISTANCE. EROSION CONTROL PERSONNEL HAVE COPIES OF INSTRUCTIONS AND MAY BE ABLE TO OFFER ASSISTANCE.
- IF THE DISTURBANCE IS NOT PROPERLY STABILIZED THE FIRST TIME SO THAT EROSION IS PREVENTED, THE SEEDING WILL HAVE TO BE REPEATED.
- USE THE APPLICATION RATES FOR LIME, FERTILIZER, SEED, MULCH, ETC. SPECIFIED IN THE PLAN, OR USE THE RATES BELOW FOR THE APPROPRIATE SEASON.

ALL SEASONS:

LIME: 135 POUNDS PER 1000 SQUARE FEET (3 TONS PER ACRE);
 FERTILIZER: 10-10-10; 23 POUNDS PER 1000 SQUARE FEET (1000 POUNDS PER ACRE). A SPECIFIC APPLICATION OF 500 POUNDS PER ACRE INITIALLY AND ANOTHER 500 POUNDS IN THE SECOND YEAR. USE WIRE FENCE TO PROTECT THEM, AS IT MAKES BURYING THE TOE IMPOSSIBLE.

SEED: 1.5 POUNDS PER 1000 SQUARE FEET (60 POUNDS PER ACRE);
 MULCH: 80 POUNDS OF SMALL GRAIN STRAW PER 1000 SQUARE FEET (APPROXIMATELY 2 BALES) OR 1.5 - 2 TONS PER ACRE; USE ENOUGH STRAW TO COVER 75% OF THE GROUND.

TEMPORARY COVER: 0.5 POUNDS OF GERMAN OR BROUWTON MILLET PER 1000 SQUARE FEET (20 POUNDS PER ACRE)

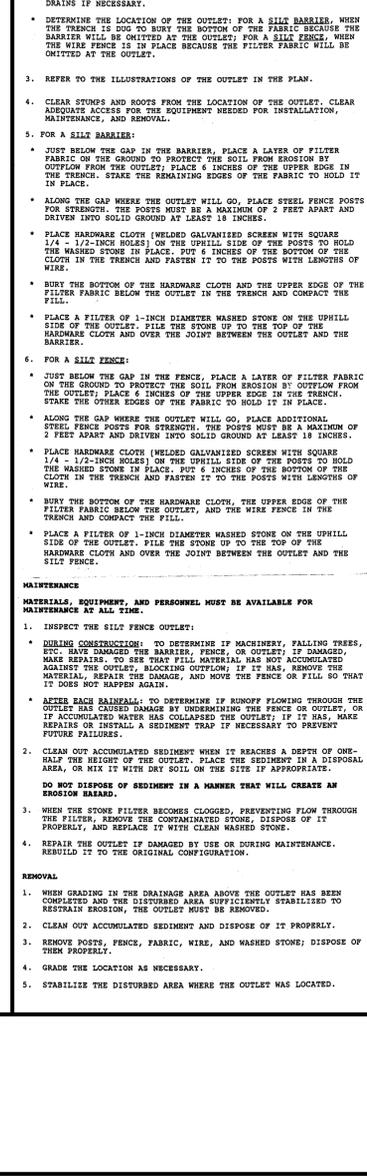
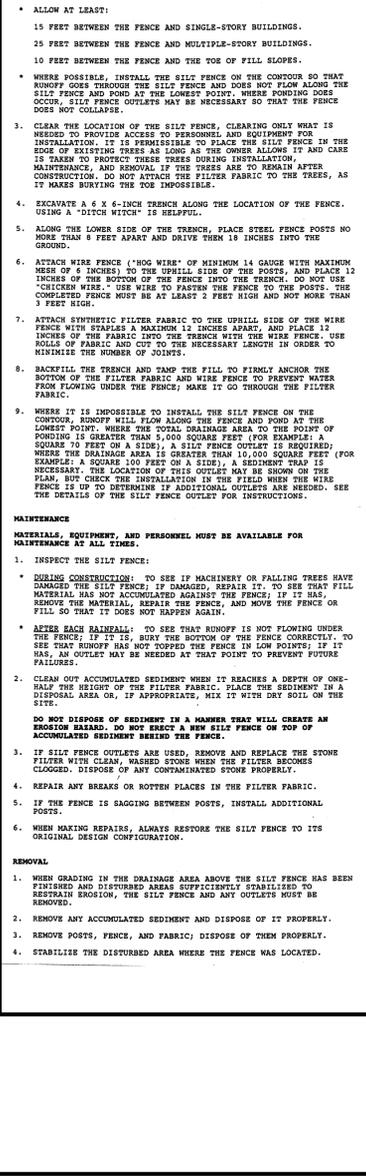
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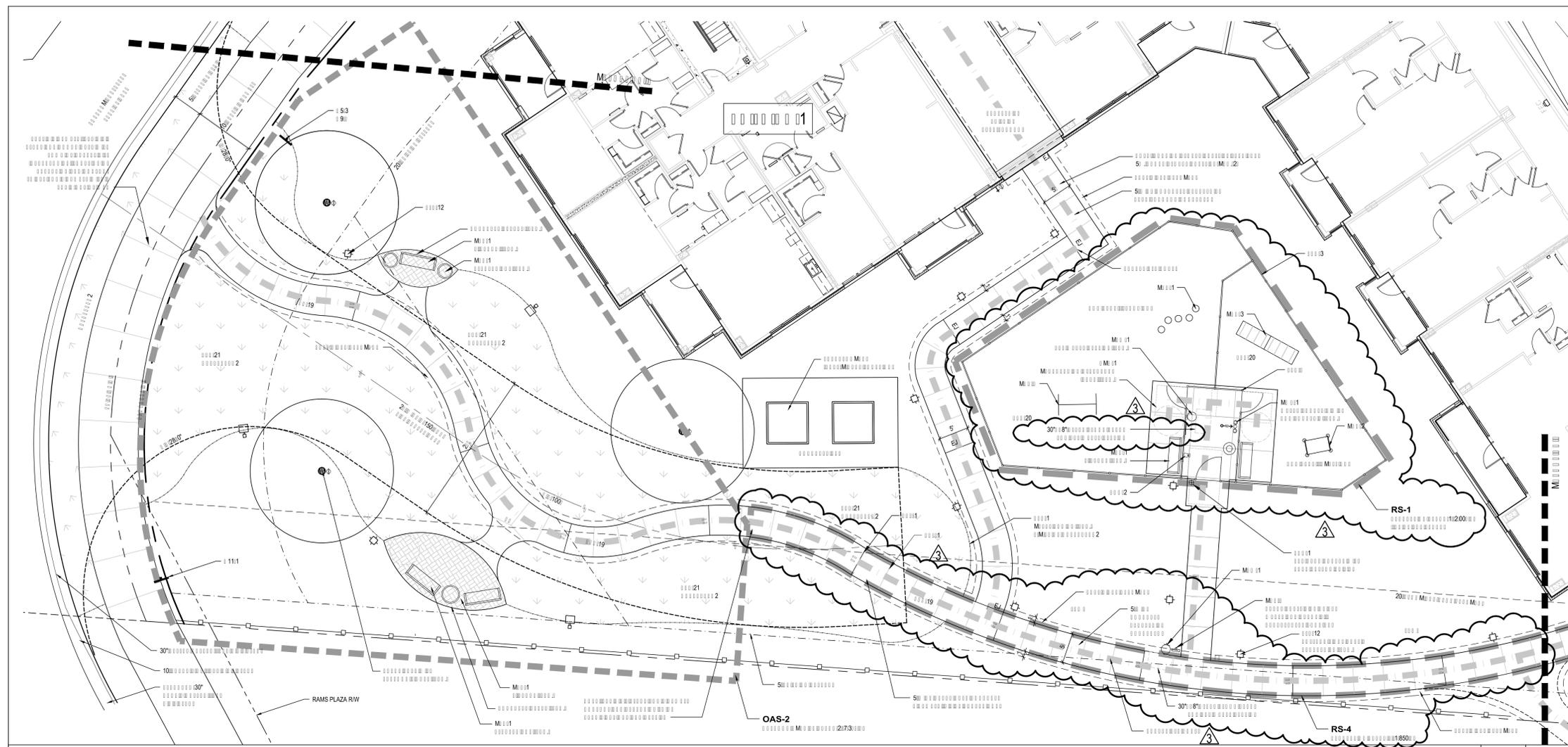
4. SEEDING: APPLY SEED AT THE RECOMMENDED RATE, AND GO OVER THE SURFACE WITH A CULTIPACKER WHERE POSSIBLE TO BRING THE SEED INTO CONTACT WITH THE SOIL.

5. MULCHING: THE AREA SEEDED MUST BE MULCHED TO PROTECT THE BARE SOIL UNTIL THE VEGETATION IS ESTABLISHED AND TO RETAIN MOISTURE TO PROMOTE SEED GERMINATION AND PLANT GROWTH. APPLY ENOUGH MULCH TO COVER 75% OF THE SURFACE. TO KEEP IT IN PLACE AND PREVENT WIND OR WATER FROM DISLOGGING IT, THE MULCH SHOULD BE HELD IN PLACE BY TACKLING IT WITH ASPHALT, OR COVERING IT WITH NETTING.

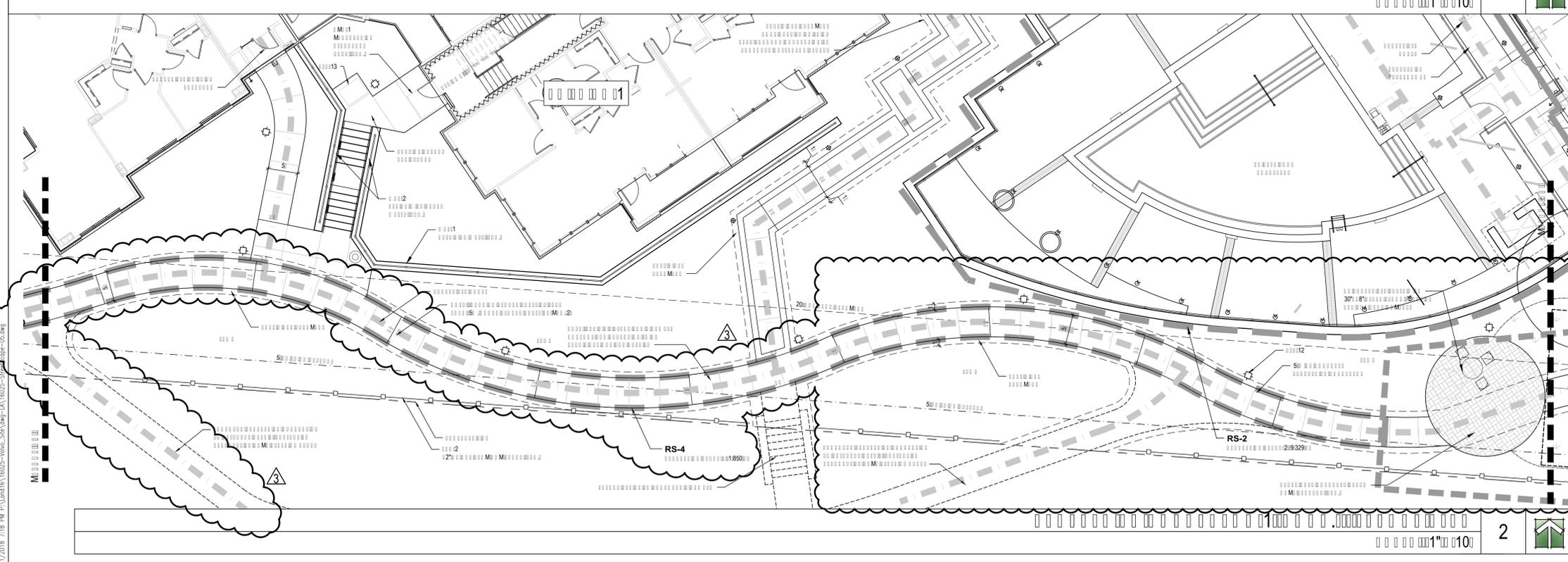
MAINTENANCE

ANY PLACES WHERE THE VEGETATION FAILS TO ESTABLISH ITSELF OR IS DAMAGED BY RUNOFF OR CONSTRUCTION ACTIVITY MUST BE RESEDED. WHERE THE VEGETATION FAILS TO RESTRAIN EROSION, OTHER EROSION CONTROL MEASURES MUST BE INSTALLED.



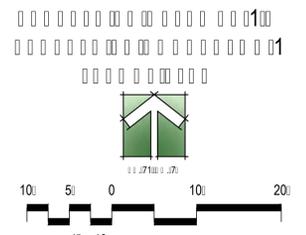


KEY	ITEM	DETAIL	NOTE	REF*	SUB**
PAVEMENTS					
PAV-2	Concrete Paver Type A - Dining	3 / LA3.10	-	-	PS
PAV-4	Concrete Paver Type C - Band	4 / LA3.10	-	-	PS
PAV-10	Concrete Pavement - Public Walk	2 / LA3.10	-	-	C
PAV-14	Accessible Ramp	6 / LA3.04	-	-	-
PAV-16	Concrete Stairs	-	-	-	-
PAV-17	Concrete Pavers-Streetcape	5 / LA3.02, 3 / LA3.10	-	-	PS
PAV-18	Concrete Pavement in RW	-	-	-	C
PAV-19	Concrete Pavement in Trash Area & Firelane	1 / LA3.12	-	-	-
PAV-20	Decomposed Granite	6 / LA3.10	-	-	PS
PAV-21	Grasspave2	1-3 / LA3.13	-	-	C SD
PSE-3	Concrete Paver Seatant- Site	-	-	-	CS
PEJ-1	Expansion Joint	2 / LA3.10	-	-	CS
PCJ-1	Control Joint	2 / LA3.10	-	-	-
PCP-1	Concrete Paver Edging	3 / LA3.10	-	-	PS
PFE-1	Flexible Metal Edging	8 / LA3.10	-	-	CS
PMC-1	Maneuvering Clearance at Doors & Gates - Maximum 2.0% Slope in All Directions	-	-	-	-
PMC-3	Area of Rescue Assistance	-	-	A	-
STRUCTURES					
SSH-3	Pergola/Ped Gateway 2	1 / 3.03	2	ST	CO
WALLS & FENCES					
WAL-1	Retaining Wall	1 / LA3.04	-	ST	-
WAL-2	Cheekwall Concrete Steps	4 / LA3.04	-	ST	-
WAL-3	Seat Wall	3 / LA3.04	-	-	-
WAL-4	Brick Screen Wall	7 / LA3.04	-	-	-
WAL-5	Green Screen Wall	1 / LA3.01	-	-	SD/CO
WAL-6	Compact / Recycle Center Enclosure	1 / LA3.12	-	A	-
FRN-2	4" Aluminum Railing - Garden/Grill Courtyard/Site	5 / LA3.04	-	-	CS/CO
FRN-4	Aluminum Fences & Gates - Dog Park/Puppy Panel	3 / LA3.08	-	-	CS/CO
ELECTRICAL & PLUMBING					
ECR-1	Key Card Reader	-	-	E	CS
ECO-1	Weatherproof Duplex Outlet	-	-	E	CS
ECR-1	Auto Gate Release - Pole Mounted	7 / LA3.08	-	E	CS
ECR-2	Auto Gate Release - Surface Mounted	-	-	E	CS
ELT-3	In Ground Up Light	-	-	E	CS
ELT-4	Festoon Light	3 / LA3.02	-	E	CS
ELT-5	Pole Light - Pedestrian	4 / LA3.02	-	E	CS
ELT-6	USB Bollards	1 / LA3.02	-	E	CS
ELT-7	Stop Light	4 / LA3.04	-	E	CS
ELT-8	USB Outlet	-	-	E	CS
ELT-9	Festoon Light Pole	10 / LA3.10	-	SD	-
ELT-10	Beacon Light	-	-	E	CS
ELT-11	Beacon Light With Mounting Pot	-	-	E	CS
ELT-12	Bollard Light Public Pedestrian	2 / LA3.02, 9 / LA3.09	-	E	CS
ELT-13	2-Way Communication System	-	-	E	CS
PHB-1	Hose Bibb	-	-	P	CS
PHB-2	In Ground Hose Bibb	-	-	P	CS
PWS-1	Water Service	-	-	P	-
MISCELLANEOUS					
MBE-1	Bench	1 / LA3.08	-	-	CS/CO
MBL-1	Building Line Above	-	-	-	-
MBR-1	Bike Repair Station	4 / LA3.01	-	E	CS/CO
MBR-2	Bike Rack	5 / LA3.08, 2 / LA3.01	-	-	CS/CO
MPF-1	Planter Pot Type 1	3 / LA3.01	-	-	CS/CO
MPF-1	Planter Potting Mix	-	-	-	CS
MPW-1	Pet Waste Station	7 / LA3.10	-	-	CS
MSF-1	Shared Use Path Signage	1, 2 / LA3.05	-	-	CS
MWR-1	Waste Receptacle	2 / LA3.11	-	-	CS/CO
DRAINAGE & UTILITIES					
DST-1	Drain Basin w/ Grate Inlet	6 / LA3.08	-	C	CS
DST-2	Drain Basin w/ Dome Inlet	6 / LA3.08	-	C	CS
DST-3	Channel Drain	4 / LA3.06	-	C	CS
DRU-1	Perforated Underdrain Pipe	-	-	-	-



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3. 5:000

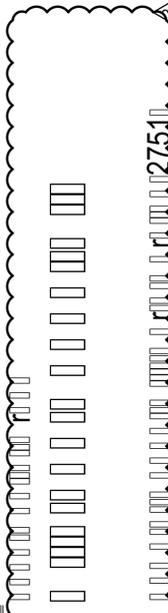


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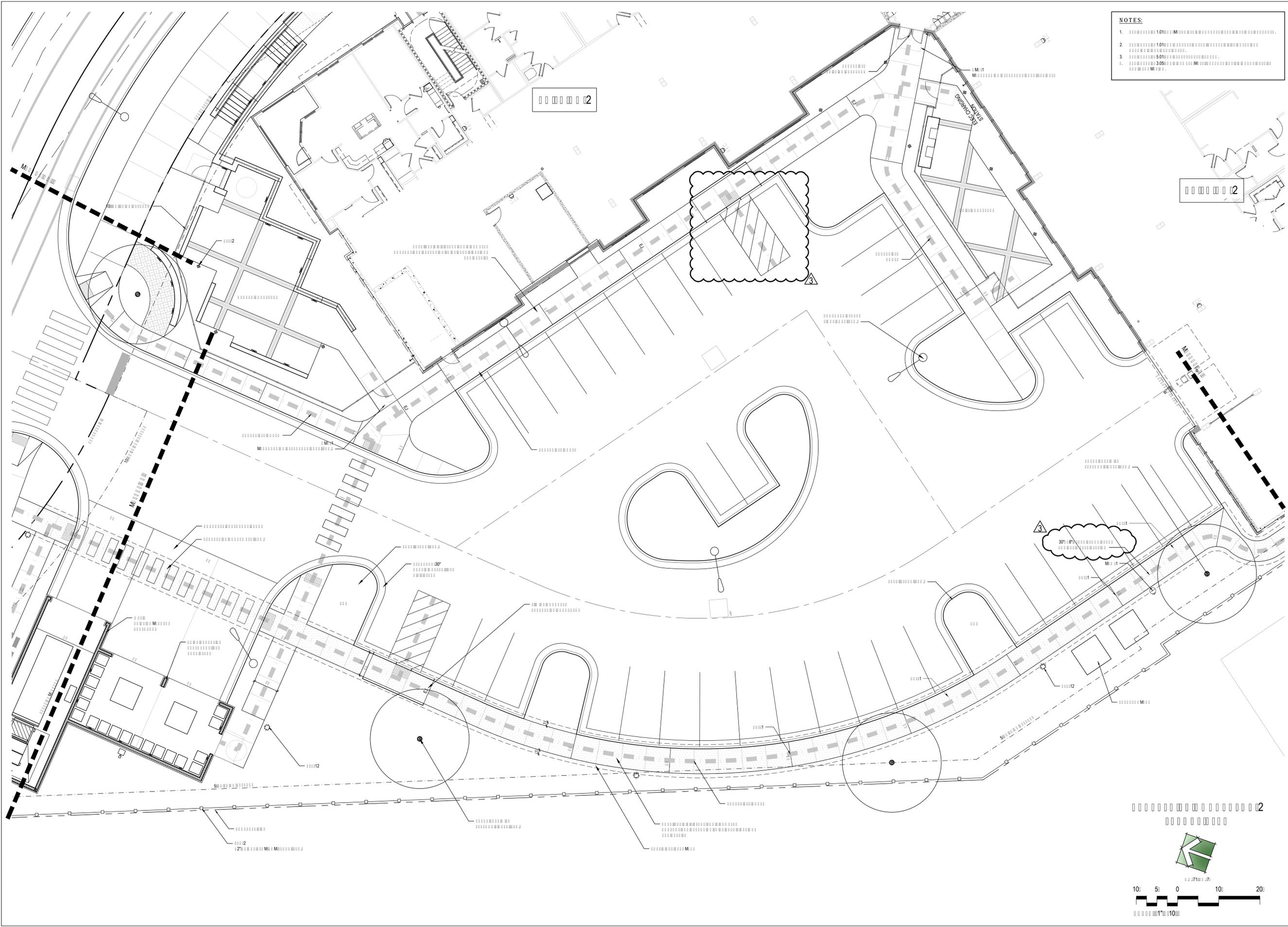
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1. SEE SHEET 1.01 FOR MAPPING INFORMATION.
 2. SEE SHEET 1.01 FOR MAPPING INFORMATION.
 3. SEE SHEET 3.05 FOR MAPPING INFORMATION.



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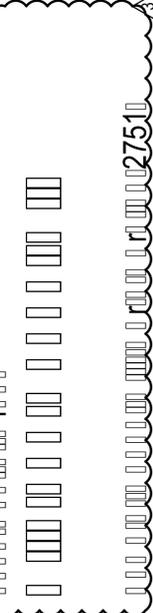
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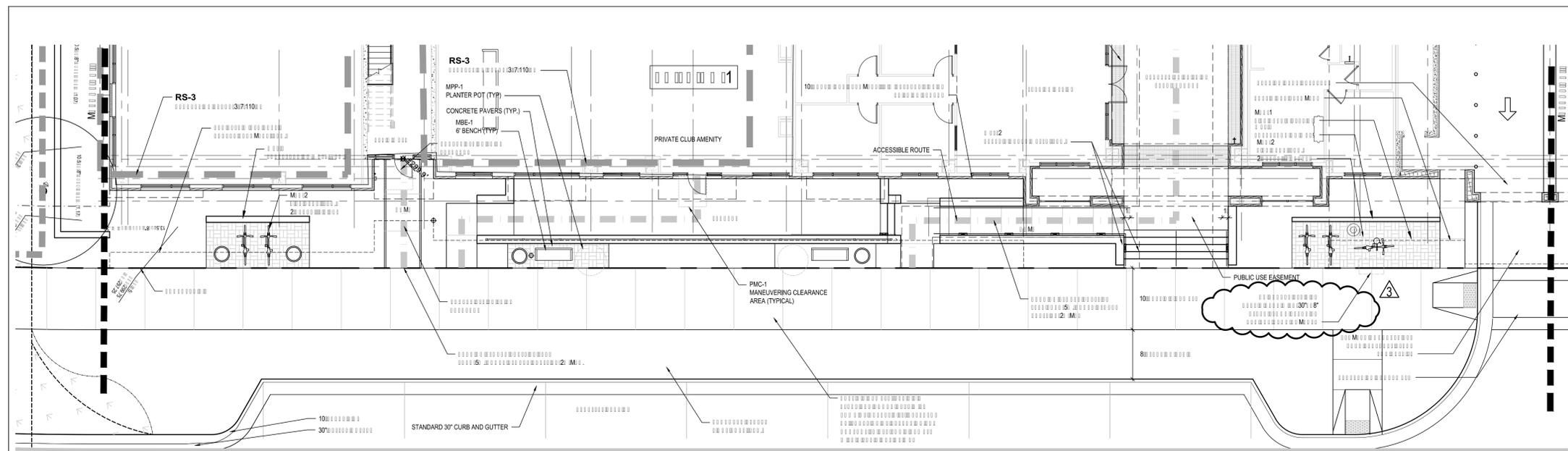
J DAVIS
 510 South Wilmington St. | Raleigh, NC 27601 | Tel: 919.835.1500
 1518 Walnut St. Suite 1308 | Philadelphia, PA 19102 | Tel: 215.545.0121

LEON
 Capital Group

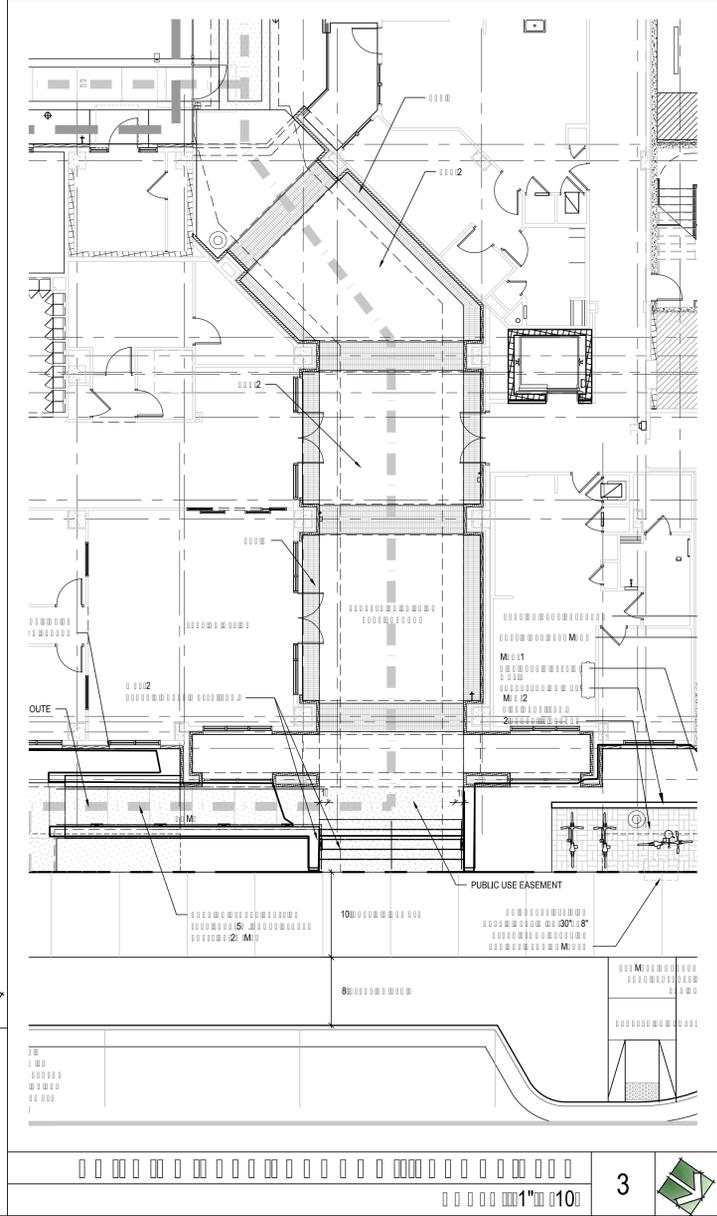
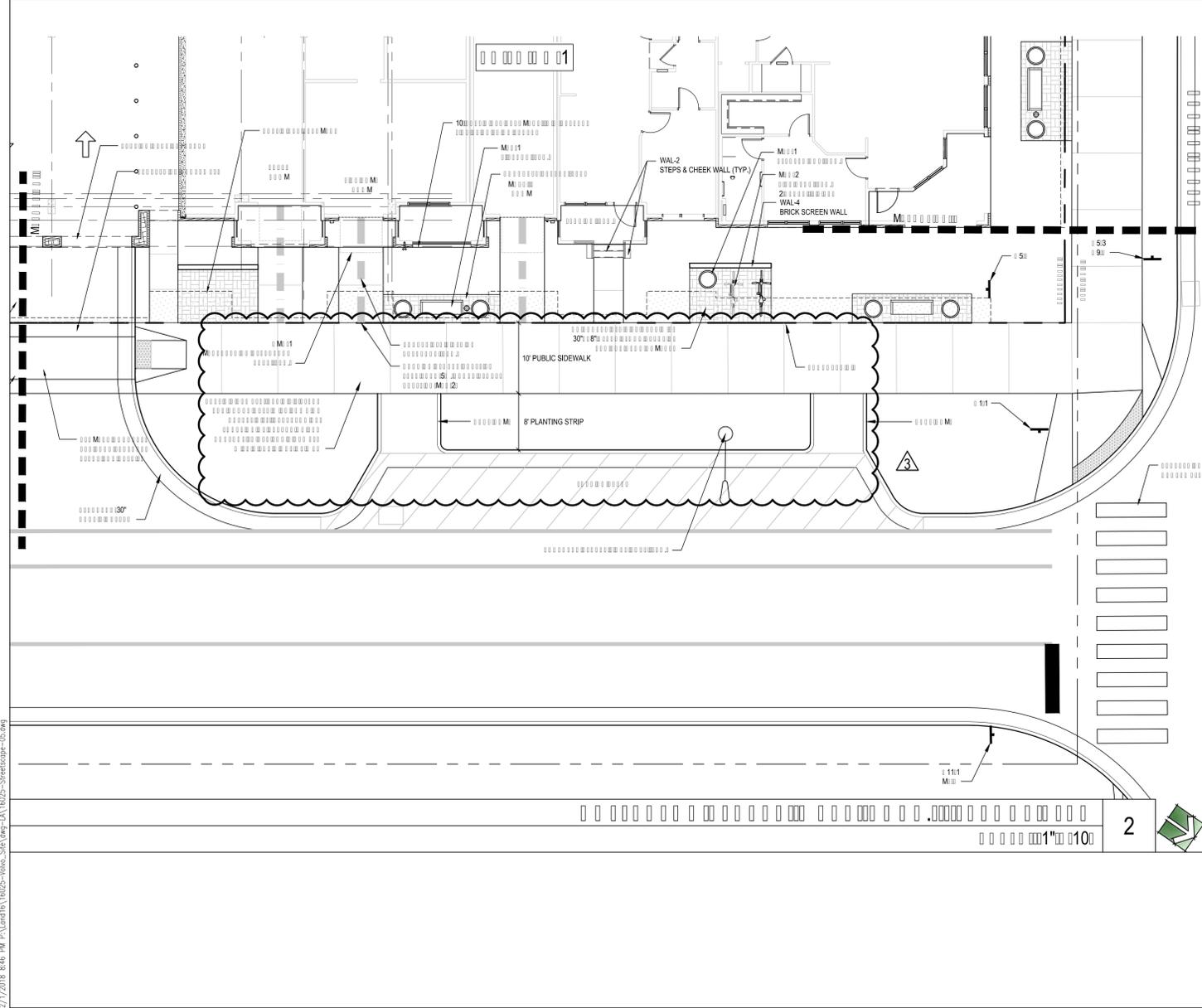


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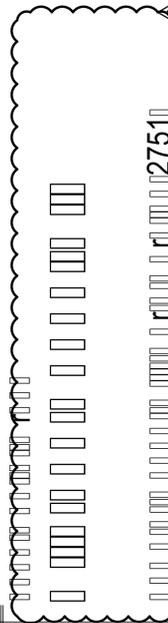
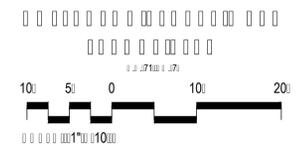
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- NOTES:**
1. 10' PUBLIC SIDEWALK
 2. 8' PLANTING STRIP
 3. 30% 18" PUBLIC USE EASEMENT

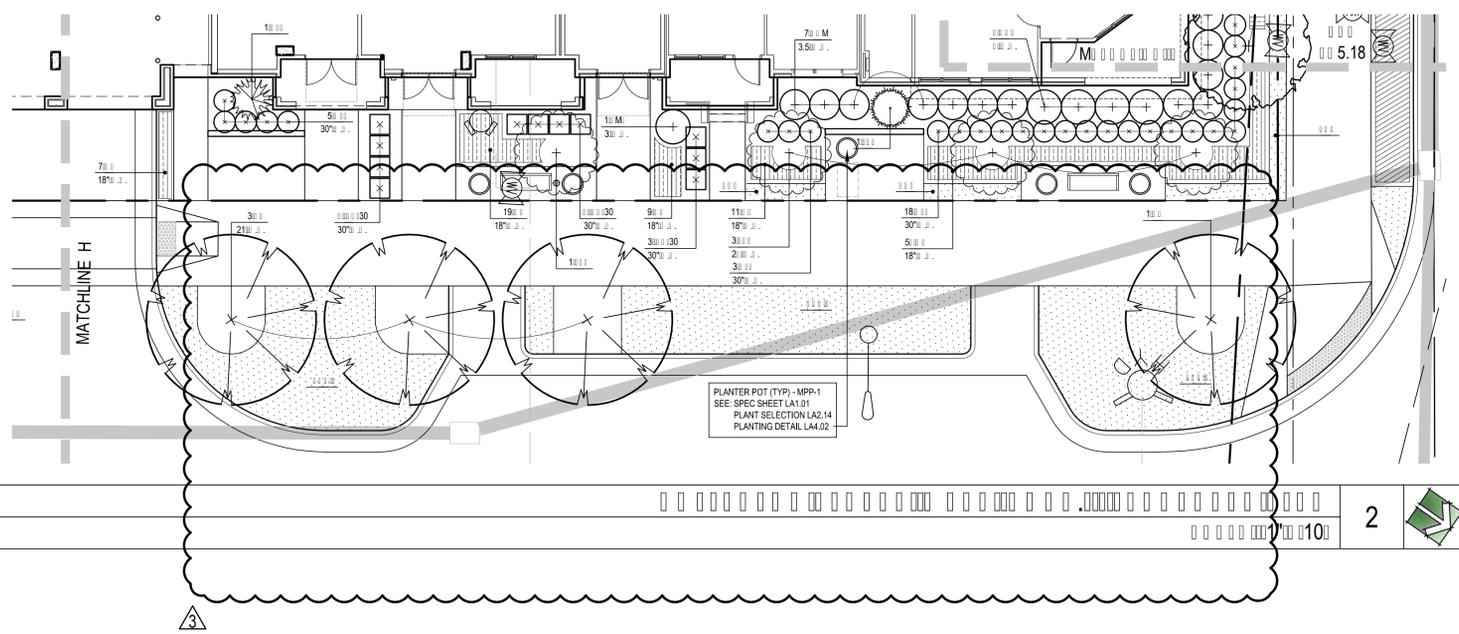
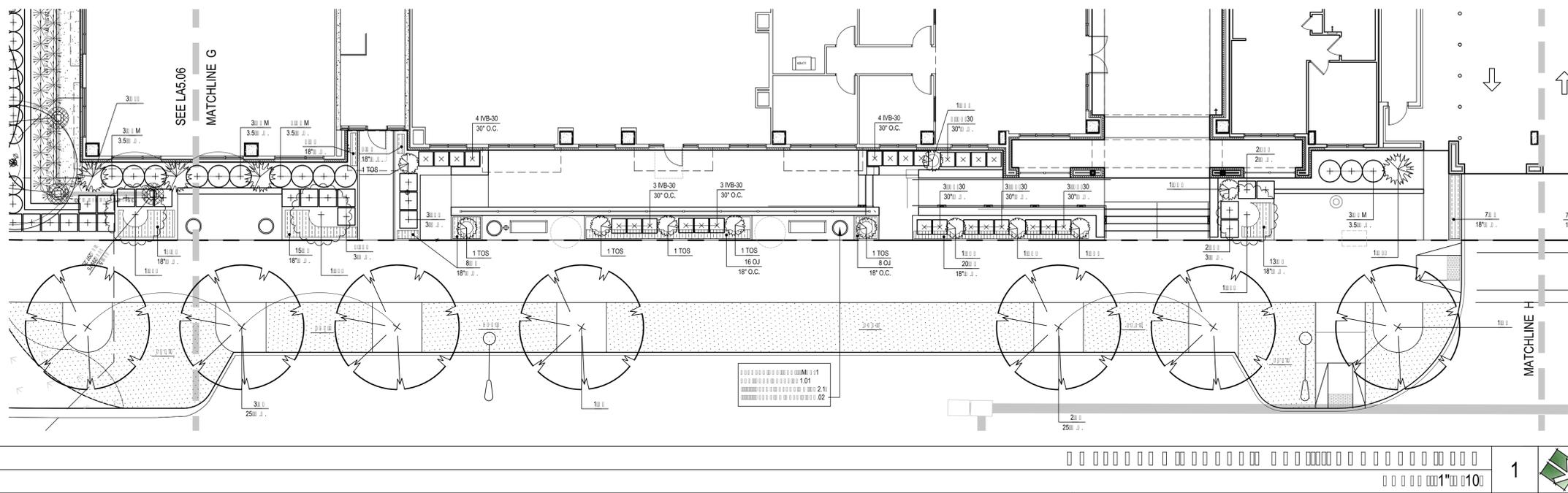


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 3. 30% 18" PUBLIC USE EASEMENT



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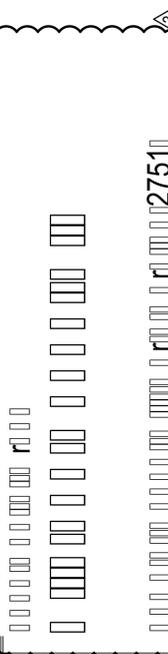
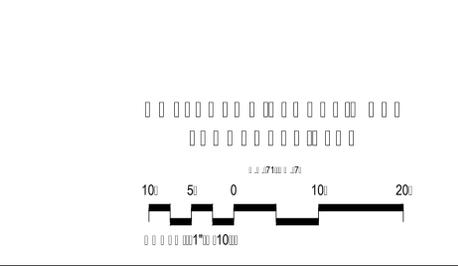
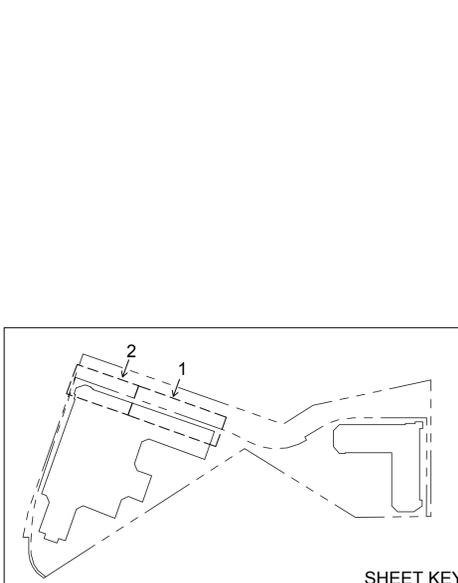
PLANT LEGEND - See LA5.06 for Plant Specifications

SYM	BOTANICAL NAME	COMMON NAME
T R E E S		
ABA	Acer buergerianum 'Aeryn'	Aeryn Trident Maple
AGA	Amelanchier grandiflora 'Autumn Brilliance' - Single Stem	Autumn Brilliance Serviceberry, Single Stem
AP	Acer palmatum	Green Seedling Japanese Maple
CC	Carpinus caroliniana	American Hornbeam
CJB	Cryptomeria japonica 'Black Dragon'	Black Dragon Cryptomeria
CKH	Cercis chinensis 'Kay's Early Hope'	Kay's Early Hope Redbud
CTT	Chionanthus retusus 'Tokyo Tower'	Chinese Fringe Tree
IAS-FTG	Ilex attenuata 'Savannah' - Full-to-ground	Full-to-ground Savannah Holly
IAS-STD	Ilex attenuata 'Savannah' - Treeform	Treeform Savannah Holly
JVI	Juniperus virginiana 'Idyllwild'	'Idyllwild' Red Cedar
LSS	Liquidambar styraciflua 'Slender Silhouette'	Slender Silhouette Sweetgum
MLGL	Magnolia grandiflora Little Gem	Little Gem Magnolia
MVM	Magnolia virginiana 'Moonglow'	Moonglow Sweetbay Magnolia
NS	Nyssa sylvatica	Black Gum
PXS	Prunus x 'Snow Goose'	Snow Goose Flowering Cherry
PXY	Prunus x yedoensis	Yoshina Cherry
QS	Quercus shumardii	Shumard Oak
TOS	Thuja occidentalis 'Smaragd'	Emerald Arborvitae
VPS	Viburnum plicatum var. tomentosum 'Summer Snowflake'	Summer Snowflake Doublefile Viburnum
S H R U B S		
ARC	Abelia x 'Rose Creek'	Rose Creek Abelia
CHF	Cephalotaxus harringtonia 'Fastigiata'	Upright Japanese Plum Yew
CHJ	Camelia sasanqua 'Hana Jiman'	Hana Jiman Fall Blooming Camellia
CSS	Camelia sasanqua 'Shishi-gashira'	Shishi-Gashira Fall Blooming Camellia
FJ	Fatsia japonica	Japanese Aralia
FLG	Forsythia x intermedia 'Lynwood Gold'	Lynwood Gold Forsythia
FMA	Fothergilla 'Mount Airy'	Dwarf Fothergilla
GJR	Gardenia jasminoides 'Radicans'	Dwarf Gardenia
HQA	Hydrangea quercifolia 'Alice'	Oakleaf Hydrangea
ICBN	Ilex comuta 'Burford Nana'	Dwarf Burford Holly
ICC	Ilex comuta 'Caissa'	Caissa Holly
IHG	Itea virginica 'Henry's Garnet'	Henry's Garnet Sweetspire
IVB	Ilex vomitoria 'Bordeaux'	Bordeaux Dwarf yaupon
IVB-30	Ilex vomitoria 'Bordeaux'	Bordeaux Dwarf yaupon
IWR	Illicium 'Woodland Ruby'	Anise Tree
JHA	Juniperus horizontalis 'Andorra'	Andorra Compacta Juniper
JN	Jasminum nudiflorum	Winter Jasmine
LCR	Loropetalum chinensis 'Crimson Fire'	Crimson Fire Loropetalum
RUM	Raphiolepis umbellata 'Minor'	Dwarf Umbellata Indian Hawthorn
TG	Temstroemia gymnanthera	Japanese Clethera
TOD	Thuja occidentalis 'Degroot's Spire'	Degroot's Spire Arborvitae
VOR	Viburnum obovatum 'Raulston's Hardy'	Raulston Hardy' Dwarf Viburnum
WFW	Weigela florida 'Bramwell' Fine Wine	Fine Wine Weigela
M A S S I N G P L A N T S		
CKF	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass
DEB	Dryopteris erythrosora 'Autumn Brilliance'	Autumn Brilliance Fern
EP	Echinacea purpurea	Purple Coneflower
ES	Eragrostis spectabilis	Purple Love Grass
HRH	Hemmercallis 'Happy Returns'	Happy Returns Daylily
PHM	Panicum virgatum 'Heavy Metal'	Blue Switchgrass
SHT	Sporobolus heterolepis 'Tara'	Dwarf Prairie Dropseed
SSP	Schizachyrium scoparium 'Prairie Blues'	Prairie Blues Little Bluestem
V I N E S A N D G R O U N D C O V E R S		
GSR	Gelsemium sempervirens/rankii	Carolina/Swamp Jessamine Combo
HAP	Hydrangea anomala subsp. Petolaris	Climbing Hydrangea
HC	Hypericum calycinum	St. John's Wort
OJ	Ophiopogon japonicus	Mondo Grass

- GENERAL LANDSCAPE NOTES**
1. SEE LA5.06 FOR PLANT SPECIFICATIONS
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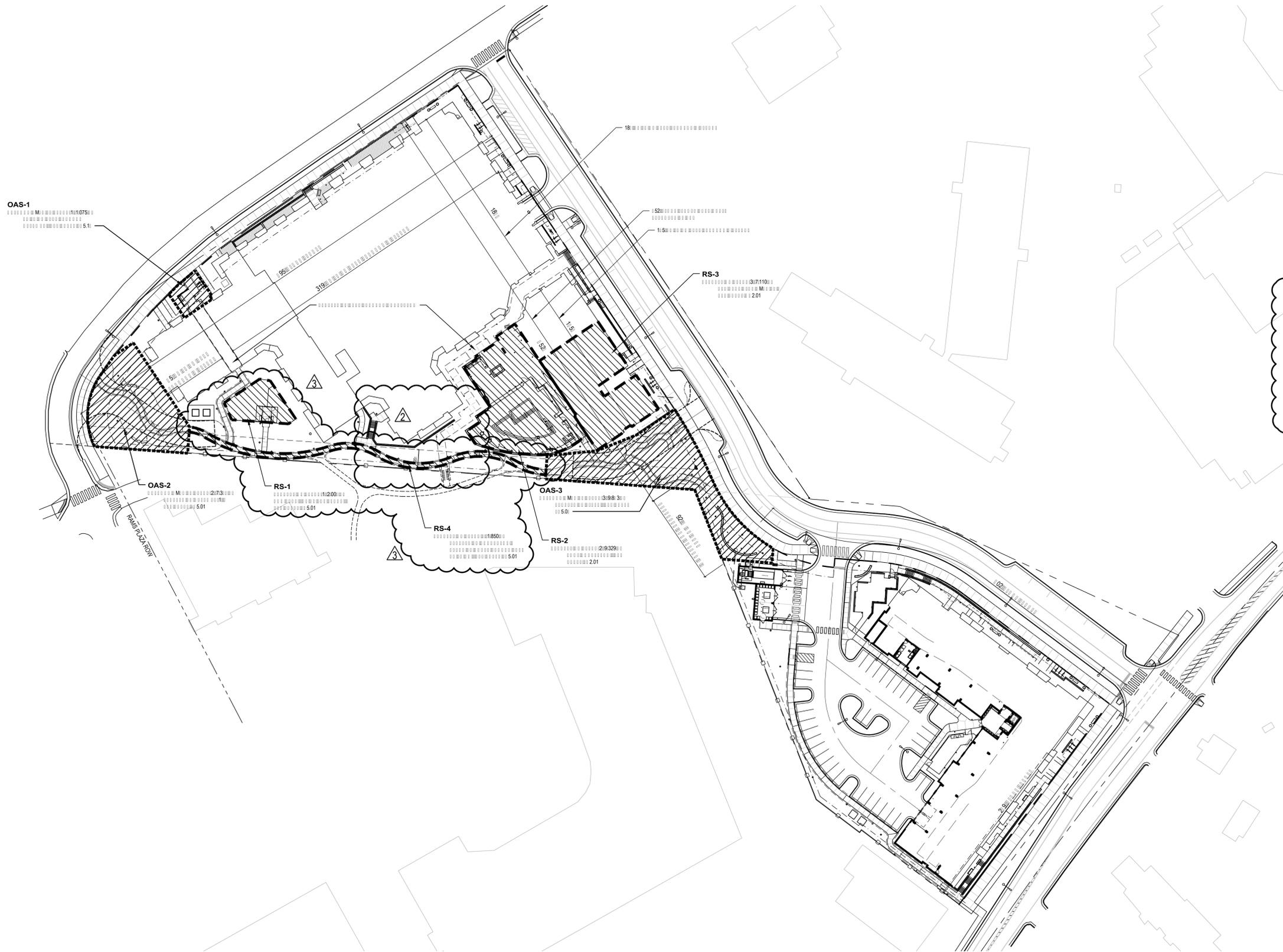
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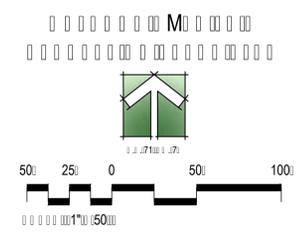
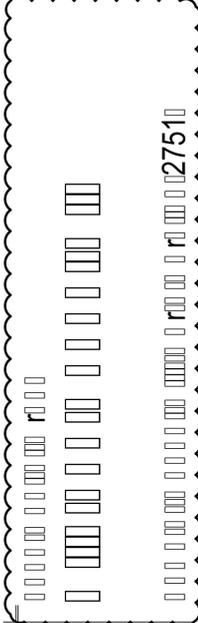
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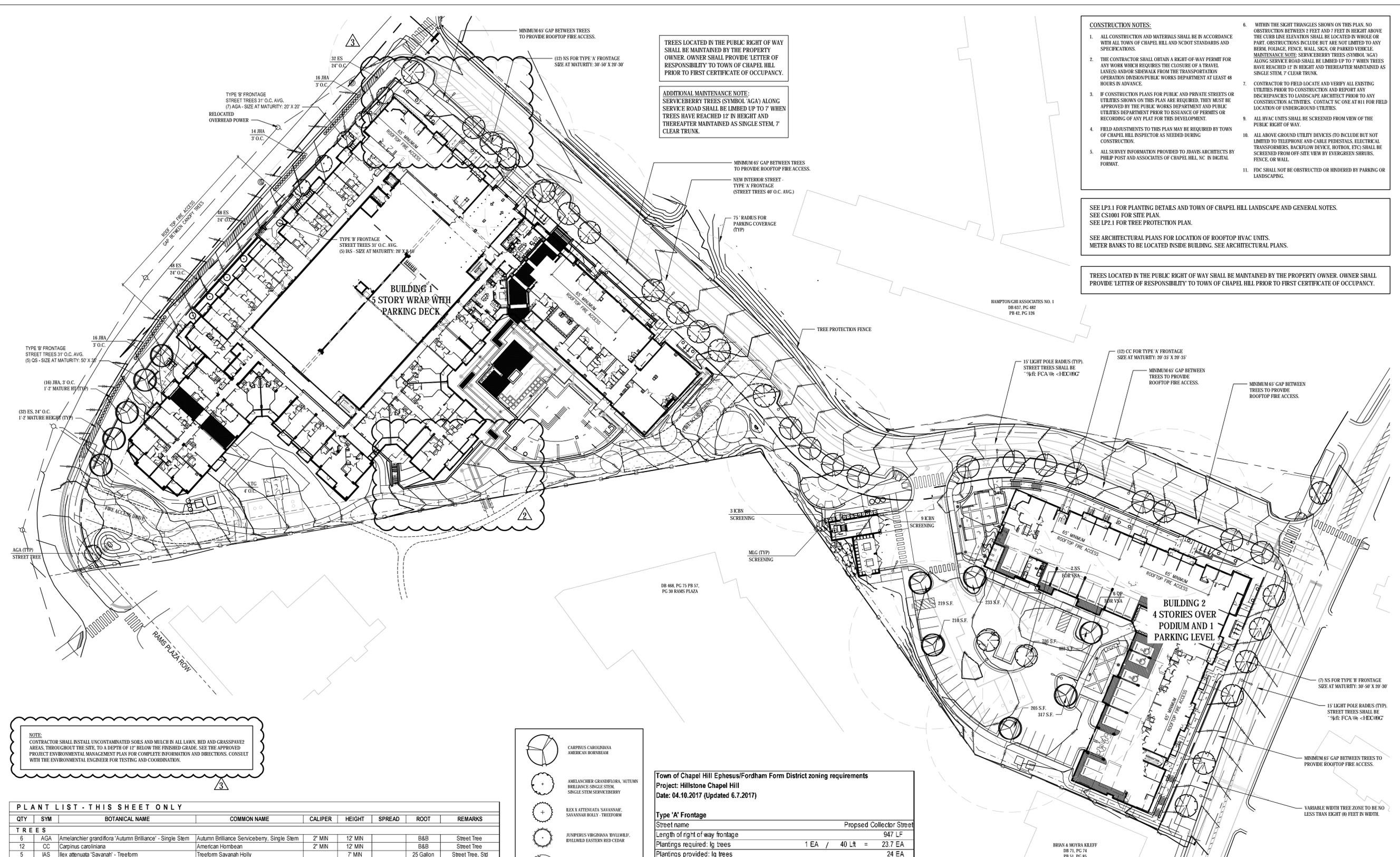
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2017

Block Length & Perimeter

Building 1	
Block Length - Service Road	495 LF
Block Length - Collector Street	452 LF
Block Perimeter (Block Lengths Combined)	947 LF
Maximum Block Perimeter Allowed by Code	900 LF
Maximum Block Perimeter Allowed by CDC	953 LF
Building 2	
Block Length - Legion Road	249 LF
Block Length - Collector Street	402 LF
Block Perimeter (Block Lengths Combined)	651 LF
Maximum Block Perimeter Allowed	900 LF



1:025	03.03.2011
0:13	01.10.2017
0:15	01.15.2017
0:19	01.19.2017
0:15	08.11.2017
08.1	08.1.2017
10.31	10.31.2017
02.02	02.02.2018



TREES LOCATED IN THE PUBLIC RIGHT OF WAY SHALL BE MAINTAINED BY THE PROPERTY OWNER. OWNER SHALL PROVIDE LETTER OF RESPONSIBILITY TO TOWN OF CHAPEL HILL PRIOR TO FIRST CERTIFICATE OF OCCUPANCY.

ADDITIONAL MAINTENANCE NOTE: SERVICEBERRY TREES (SYMBOL AGA) ALONG SERVICE ROAD SHALL BE LIMBED UP TO 7' WHEN TREES HAVE REACHED 12' IN HEIGHT AND THEREAFTER MAINTAINED AS SINGLE STEM, 7' CLEAR TRUNK.

- CONSTRUCTION NOTES:**
- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH ALL TOWN OF CHAPEL HILL AND NCDOT STANDARDS AND SPECIFICATIONS.
 - THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY PERMIT FOR ANY WORK WHICH REQUIRES THE CLOSURE OF A TRAVEL LANE(S) AND/OR SIDEWALK FROM THE TRANSPORTATION OPERATION DIVISION/PUBLIC WORKS DEPARTMENT AT LEAST 48 HOURS IN ADVANCE.
 - IF CONSTRUCTION PLANS FOR PUBLIC AND PRIVATE STREETS OR UTILITIES SHOWN ON THIS PLAN ARE REQUIRED, THEY MUST BE APPROVED BY THE PUBLIC WORKS DEPARTMENT AND PUBLIC UTILITIES DEPARTMENT PRIOR TO ISSUANCE OF PERMITS OR RECORDING OF ANY PLAN FOR THIS DEVELOPMENT.
 - FIELD ADJUSTMENTS TO THIS PLAN MAY BE REQUIRED BY TOWN OF CHAPEL HILL INSPECTOR AS NEEDED DURING CONSTRUCTION.
 - ALL SURVEY INFORMATION PROVIDED TO JDAVIS ARCHITECTS BY PILEI POST AND ASSOCIATES OF CHAPEL HILL, NC IN DIGITAL FORMAT.
 - WITHIN THE SKIRT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN 2 FEET AND 7 FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR PART. OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY BERM, FOLIAGE, FENCE, WALL, SIGN, OR PARKED VEHICLE. MAINTENANCE NOTE: SERVICEBERRY TREES (SYMBOL AGA) ALONG SERVICE ROAD SHALL BE LIMBED UP TO 7' WHEN TREES HAVE REACHED 12' IN HEIGHT AND THEREAFTER MAINTAINED AS SINGLE STEM, 7' CLEAR TRUNK.
 - CONTRACTOR TO FIELD LOCATE AND VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTACT NC ONE AT 811 FOR FIELD LOCATION OF UNDERGROUND UTILITIES.
 - ALL HVAC UNITS SHALL BE SCREENED FROM VIEW OF THE PUBLIC RIGHT OF WAY.
 - ALL ABOVE GROUND UTILITY DEVICES (TO INCLUDE BUT NOT LIMITED TO TELEPHONE AND CABLE PEDIESTALS, ELECTRICAL TRANSFORMERS, BACKFLOW DEVICE, HOTBOX, ETC) SHALL BE SCREENED FROM OFF-SITE VIEW BY EVERGREEN SHRUBS, FENCE, OR WALL.
 - FDC SHALL NOT BE OBSTRUCTED OR HINDERED BY PARKING OR LANDSCAPING.

SEE LP3.1 FOR PLANTING DETAILS AND TOWN OF CHAPEL HILL LANDSCAPE AND GENERAL NOTES.
SEE CS1001 FOR SITE PLAN.
SEE LP2.1 FOR TREE PROTECTION PLAN.

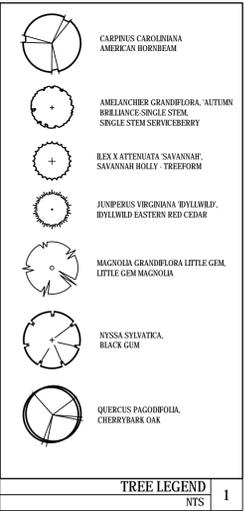
SEE ARCHITECTURAL PLANS FOR LOCATION OF ROOFTOP HVAC UNITS.
METER BANKS TO BE LOCATED INSIDE BUILDING. SEE ARCHITECTURAL PLANS.

TREES LOCATED IN THE PUBLIC RIGHT OF WAY SHALL BE MAINTAINED BY THE PROPERTY OWNER. OWNER SHALL PROVIDE LETTER OF RESPONSIBILITY TO TOWN OF CHAPEL HILL PRIOR TO FIRST CERTIFICATE OF OCCUPANCY.

NOTE:
CONTRACTOR SHALL INSTALL UNCONTAMINATED SOILS AND MULCH IN ALL LAWN, BED AND GRASSPAVE2 AREAS THROUGHOUT THE SITE, TO A DEPTH OF 1" BELOW THE FINISHED GRADE. SEE THE APPROVED PROJECT ENVIRONMENTAL MANAGEMENT PLAN FOR COMPLETE INFORMATION AND DIRECTIONS. CONSULT WITH THE ENVIRONMENTAL ENGINEER FOR TESTING AND COORDINATION.

PLANT LIST - THIS SHEET ONLY

QTY	SYM	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT	SPREAD	ROOT	REMARKS
TREES								
6	AGA	Amelanchier grandiflora 'Autumn Brilliance' - Single Stem	Autumn Brilliance Serviceberry, Single Stem	2" MIN	12 MIN		B&B	Street Tree
12	CC	Carpinus caroliniana	American Hornbeam	2" MIN	12 MIN		B&B	Street Tree
5	IAS	Ilex attenuata 'Savannah' - Treeform	Treeform Savannah Holly		7 MIN		25 Gallon	Street Tree, Std
3	JVI	Juniperus virginiana 'Idylwild'	Idylwild Eastern Red Cedar		7 MIN		25 Gallon	Screening
5	MLG	Magnolia grandiflora Little Gem	Little Gem Magnolia		7 MIN		25 Gallon	Screening
21	NS	Nyssa sylvatica	Black Gum	2" MIN	12 MIN		B&B	Street Tree, VSA
11	QS	Quercus shumardii	Shumard Oak	2" MIN	12 MIN		B&B	Street Tree, VSA
SHRUBS								
12	ICBN	Ilex comuta 'Burford Nana'	Dwarf Burford Holly		24"-30"	24"	7 Gallon	Screening
62	JHA	Juniperus horizontalis 'Andorra'	Andorra Juniper		18"-24"	18"	3 Gallon	1'-2' Mature Height
3	TG	Temstroemia gymnanthera	Japanese Cleystera		24"-30"	24"	7 Gallon	Screening
ORNAMENTAL GRASSES								
64	ES	Eragrostis spectabilis	Purple Love Grass				3 Gallon	1'-2' Mature Height
ALTERNATIVES SUBJECT TO APPROVAL BY LANDSCAPE ARCHITECT:								
		Cadrasia kentukea (lutea)	American Yellowwood	2" MIN	12 MIN		B&B	Street Tree, VSA
		Pistacia chinensis	Chinese Pistache	2" MIN	12 MIN		B&B	Street Tree
		Prunus serotina 'Snow Goose'	Snow Goose Flowering Cherry	2" MIN	12 MIN		B&B	Street Tree
		Quercus lyrata	Overcup Oak	2" MIN	12 MIN		B&B	Street Tree, VSA
		Thuja occidentalis 'Emerald'	Emerald Arborvitae		7 MIN		25 Gallon	Street Tree
		Ulmus parviflora	Labebark Elm	2" MIN	12 MIN		B&B	Street Tree



Town of Chapel Hill Ephesus/Fordham Form District zoning requirements
Project: Hillstone Chapel Hill
Date: 04.10.2017 (Updated 6.7.2017)

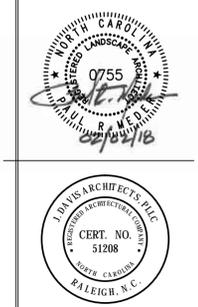
Street name	Proposed Collector Street
Length of right of way frontage	947 LF
Plantings required: lg trees	1 EA / 40 Lt = 23.7 EA
Plantings provided: lg trees	24 EA
Street name	Legion Road
Length of right of way frontage	250 LF
Plantings required: lg trees	1 EA / 40 LF = 6.3 EA
Plantings provided: lg trees	7 EA
Street name	Fordham Blvd Service Road
Length of right of way frontage	536 LF
Plantings required: Sm trees	1 EA / 40 LF = 13.4 EA
Plantings provided: Sm trees	16 EA

Vehicular Surface Area
No parking space shall be more than 75' from shade tree trunk

CODE COMPLIANT LANDSCAPE PLAN



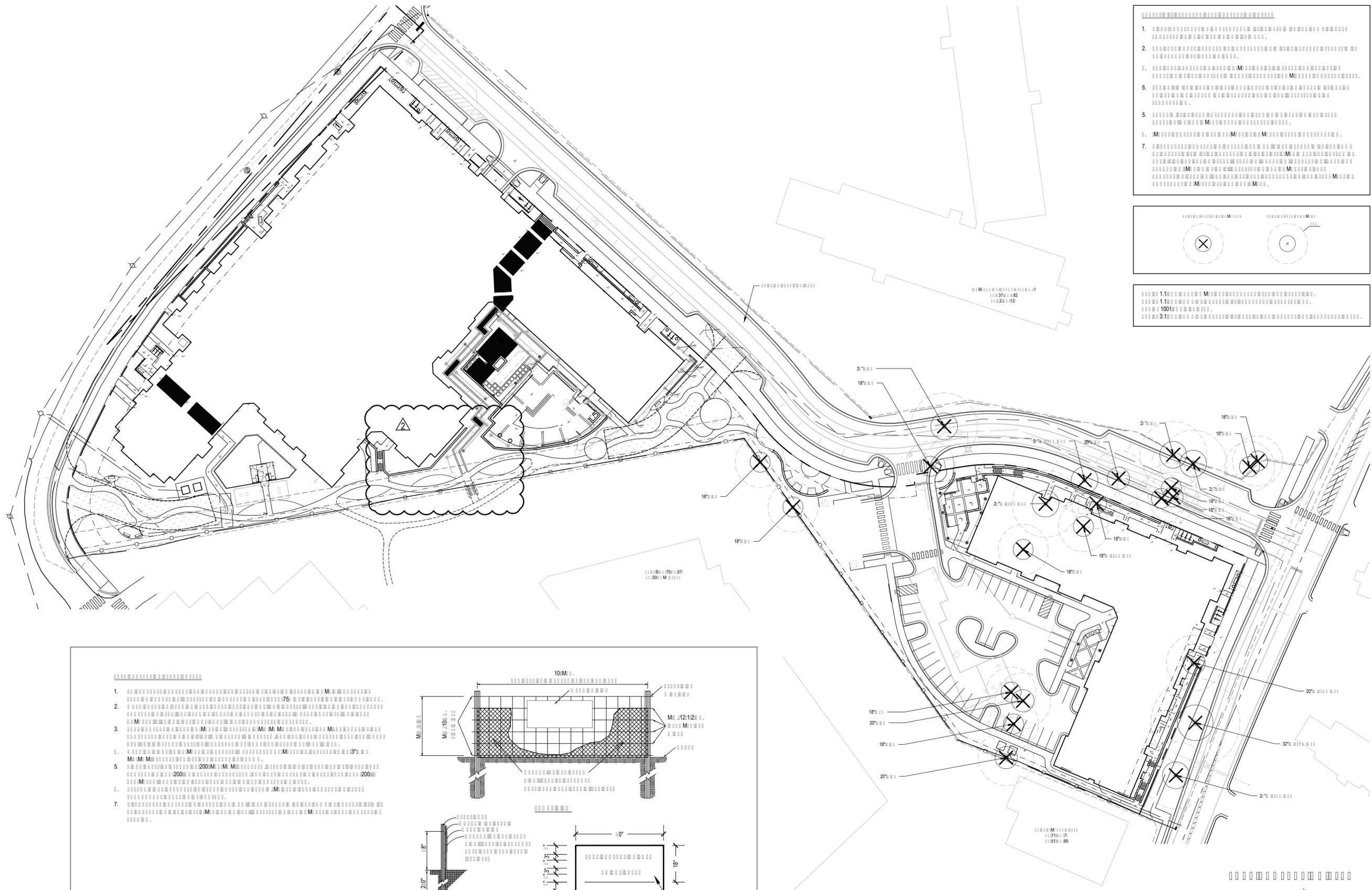
Leon Capital Group
Hillstone Chapel Hill
Town of Chapel Hill, North Carolina 27514



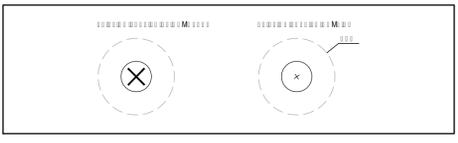
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	FDP APPLICATION - 3		04.10.2017
	DD MARKUP REVISIONS		04.24.2017
	FDP APPLICATION - 4		06.15.2017
	PERMIT SET		06.19.2017
	FDP APPLICATION - 5		08.11.2017
	GMP SET		08.16.2017
REVISIONS:	COORD/CLARIFICATION		10.31.2017
	REVW. COMMS. COORD		02.02.2018
DRAWN BY:	CHK		
CHECKED BY:	PM		
CONTENT:	CODE COMPLIANT		
	LANDSCAPE PLAN		

2/17/2018 4:21 PM P:\Users\j\16025-Volc_S&A\Map-1\16025-code_compliant_Landscape-07.dwg

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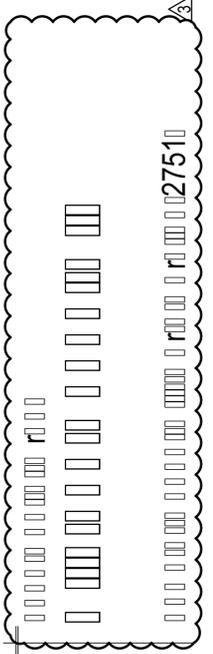
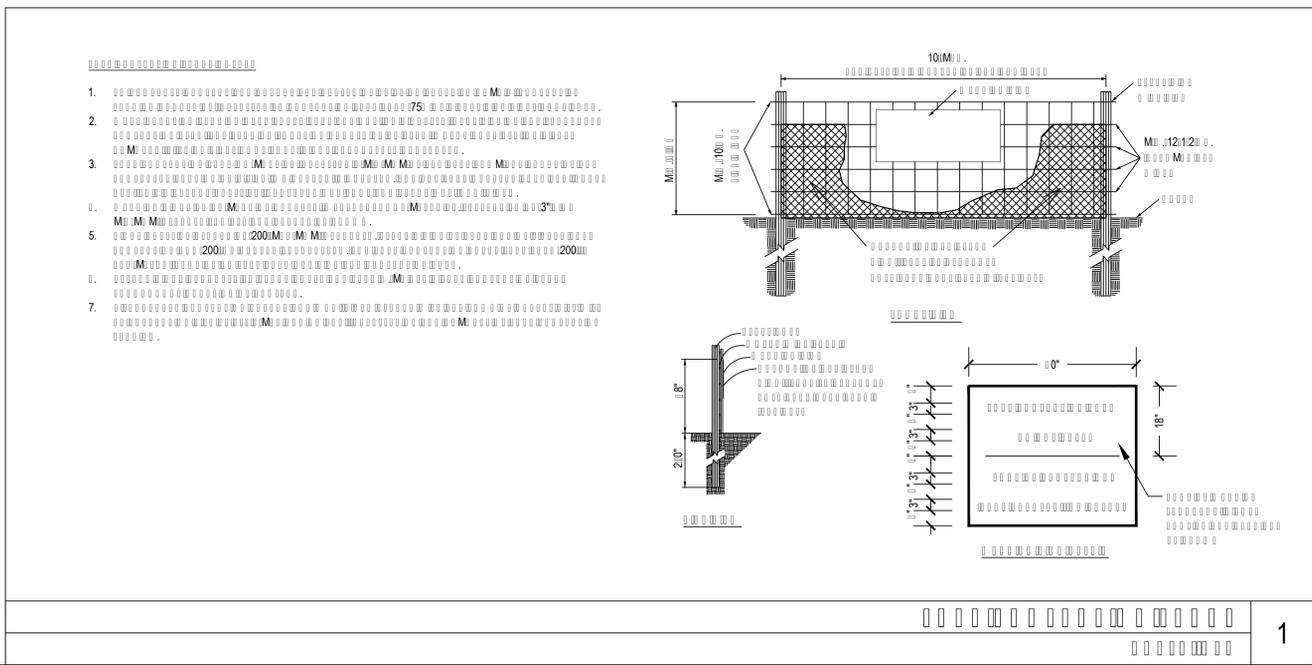


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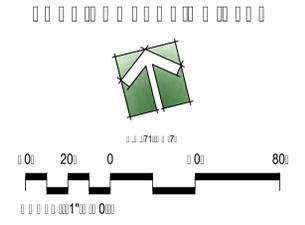
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10:025	10.31.2017
11:025	02.02.2018



- GENERAL NOTES:**
- ALL CONSTRUCTION MUST BE PERFORMED WITH CURRENT TOWN OF CHAPEL HILL STANDARDS, SPECIFICATIONS AND DETAILS.
 - IF INFRASTRUCTURE PLAN FOR PUBLIC AND PRIVATE STREETS OR UTILITIES SHOWN ON THIS PLAN ARE REQUIRED, THEY MUST BE APPROVED BY THE PUBLIC WORKS DEPARTMENT AND PUBLIC UTILITIES DEPARTMENT PRIOR TO ISSUANCE OF PERMITS OR RECORDING OF ANY PLAN FOR THIS DEVELOPMENT.
 - ACCESS ROUTE FOR EMERGENCY VEHICLES SHALL PROVIDE AN INSIDE TURNING RADIUS OF 28' MINIMUM.
 - TRASH AND CARDBOARD DUMPSTERS ENCLOSURE SHALL MATCH MATERIAL AND/OR COLOR OF THE PRINCIPAL BUILDING.
 - CONTRACTOR TO FIELD LOCATE AND VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTACT XC ONE AT 811 FOR FIELD LOCATION OF UNDERGROUND UTILITIES.
 - SLOPE IN HANDICAP PARKING AREAS NOT TO EXCEED 2% IN ALL DIRECTIONS AS PER ADA STANDARDS.
 - PROVIDE SIGNAGE AND STRIPPING OF HANDICAP SPACES AS PER ADA STANDARDS.
 - ALL RETAINING WALLS GREATER THAN 30" IN HEIGHT TO INCLUDE HANDRAIL.
 - ALL EXTERIOR LIGHTING WILL BE DESIGNED TO PREVENT OFF-SITE GLARE.
 - THE SITE SHALL BE STABILIZED AND SEEDED PRIOR TO THE ISSUANCE OF CERTIFICATE OF OCCUPANCY.
 - WHERE EXISTING OR PROPOSED VEGETATION FAILS TO FUNCTION ADEQUATELY AS REQUIRED, THE TOWN OF CHAPEL HILL RESERVES THE RIGHT TO REQUIRE SUPPLEMENTAL PLANTINGS IN ADDITION TO THOSE SHOWN ON THE PLANTING PLAN BASED ON ACTUAL FIELD CONDITIONS.
 - ALL TREE PROTECTION FENCING SHALL BE MAINTAINED UNTIL ALL SITE WORK IS COMPLETED. THE FENCING SHALL BE REMOVED PRIOR TO THE FINAL SITE INSPECTION FOR THE CERTIFICATE OF OCCUPANCY (CO).

- TOWN OF CHAPEL HILL NOTES**
- THE TECHNICAL SPECIFICATIONS INCLUDED IN THESE DRAWINGS ENUMERATE THE PROJECT CONDITIONS, REQUIRED SUBMITTALS, PROCEDURES AND PROTOCOLS, QUALITY CONTROL, MATERIALS AND PRODUCTS, METHODS FOR EXECUTION OF THE WORK, MAINTENANCE, AND WARRANTIES ASSOCIATED WITH THE CONTRACT WORK. PERFORMED WORK NOT MEETING THE REQUIRED SPECIFICATIONS MAY BE FOUND TO BE UNACCEPTABLE AND WILL BE SUBSEQUENTLY REJECTED. CONTRACTOR WILL BE RESPONSIBLE FOR THE MEANS AND COSTS ASSOCIATED WITH ALL REPLACEMENT, REPAIR, OR ALTERATIONS NECESSARY TO PERFORM THE WORK IN ACCORDANCE WITH THE SPECIFICATIONS.
 - CONTRACTOR SHOULD NOTE THE REQUIRED STANDARDS FOR NURSERY STOCK INCLUDED IN THE TECHNICAL SPECIFICATIONS. IN ADDITION, THE STANDARDS SHOULD BE REVIEWED BY THE CONTRACTOR'S SUPPLIERS TO ENSURE PLANT MATERIALS CONFORM TO THE REQUIRED STANDARDS.
 - THE LANDSCAPE CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES. DISCREPANCIES IN PLANT QUANTITIES SHOULD BE ADDRESSED TO THE LANDSCAPE ARCHITECT FOR CONFIRMATION OR CLARIFICATION.
 - NO PARKING SPACE MAY BE FARTHER THAN 75 FEET FROM THE TRUNK OF A TREE.
 - TREE PLANTING ZONES MUST BE INSTALLED USING STRUCTURAL SOILS, AS DESCRIBED IN THE DESIGN MANUAL.
 - ALL MECHANICAL EQUIPMENT, WASTE DISPOSAL FACILITIES, AND VEHICULAR USE AREA (DRIVES AND PARKING) SHALL BE SCREENED FROM PUBLIC VIEW BY EVERGREEN SHRUBS. FENCE OF WALL PLANTING SHALL ALLOW FOR A MINIMUM OF 5' CLEARANCE AROUND THE STRUCTURE TO ALLOW FOR ACCESS. ADDITIONALLY, ANY SIDE OF THE STRUCTURE HAVING A DOOR OR LOCK, THE PLANTING SHALL ALLOW FOR A 10' CLEARANCE. THE AMOUNT OF CLEARANCE SHALL ACCOUNT FOR THE SIZE OF PLANT MATERIAL AT MATURITY.
 - ALL SHRUBS INSTALLED AS VEHICULAR USE SCREENING WILL BE MAINTAINED AS A CONTINUOUS HEDGE AT A MINIMUM HEIGHT OF 36 INCHES.
 - ALL IRRIGATION SYSTEM PLANS ARE SUBMITTED THROUGH THE BUILDING PERMIT PROCESS AND ARE EVALUATED SEPARATELY FROM AND IN ADDITION TO SITE PLAN AND BUILDING REVIEWS.
 - THE CONTRACTOR IS EXPECTED TO ACCURATELY LOCATE THE EDGES BETWEEN PLANTING BEDS AND TURF GRASS AREAS AS WELL AS THE SPECIFIED PLANTINGS. CONSULT THE TECHNICAL SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
 - SPECIFIC REQUIREMENTS FOR TURF GRASS SOIL, COMPOST, AND OTHER SOIL AMENDMENTS INCLUDING REQUIRED SOIL TESTING IS SHOWN IN THE TECHNICAL SPECIFICATIONS.
 - GRADE ALL LANDSCAPE AREAS TO ENSURE POSITIVE DRAINAGE. THE LANDSCAPE ARCHITECT SHOULD BE NOTIFIED OF AREAS WITH INADEQUATE DRAINAGE PRIOR TO INSTALLATION OF LANDSCAPING.
 - THIS PLAN DEPICTS PLANTINGS REQUIRED BY THE TOWN OF CHAPEL HILL.
 - LOCATION OF PLANT MATERIAL TO BE REVIEWED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
 - ALL CONSTRUCTION TO CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE TOWN OF CHAPEL HILL.
 - ALL PLANTING BEDS ARE TO BE MULCHED TO A MINIMUM DEPTH OF 3" WITH FINE TEXTURED ORGANIC MULCH (NO PINE STRAW).
 - ALL PLANTS TO BE COMPACT, UNIFORM AND WELL GROWN.
 - ALL CONFLICTS BETWEEN PROPOSED LANDSCAPE, UTILITIES AND STORMWATER WILL BE RESOLVED PRIOR TO APPLICATION FOR BUILDING PERMITS. UTILITIES AND STORMWATER PLANS DEPICTED IN THIS SUBMITTAL ARE PRELIMINARY AND ARE SUBJECT TO CHANGE WITH THE DEVELOPMENT OF CONSTRUCTION DOCUMENTS.
 - PLANTS IN ROWS OR GROUPINGS SHALL BE MATCHED WITH RESPECT TO SIZE AND FORM.
 - AT INSTALLATION AND CONTINUOUSLY DURING THE MAINTENANCE CONTRACT, ALL PROPOSED SHRUBS SHOWN AS SQUARE IN FORM ON THE DRAWINGS SHOULD BE PRUNED INTO BOX-SHAPED PLANTS.
 - PLANTS SPECIFIED FOR MASS PLANTINGS TO BE SPACED APART AS SPECIFIED AND PLACED IN TRIANGULATED PATTERNS UNLESS OTHERWISE SHOWN.
 - DO NOT MAKE PLANT SUBSTITUTIONS. FOLLOW SPECIFIED PROTOCOLS IN REQUESTING SUBSTITUTIONS.
 - ESTABLISH AND MAINTAIN TOP OF GRADE 2 INCHES BELOW ADJACENT CURBS, WALKWAYS, AND OTHER HARDSCAPE AREAS TO ALLOW FOR INSTALLATION OF SOD OR MULCH.
 - ALL SAUCERS SHALL BE SOAKED WITH WATER AND MULCHED IMMEDIATELY FOLLOWING PLANTING.
 - ALL SITE LANDSCAPE AREAS ARE TO BE EITHER PLANTED, SODDED, SEEDED, OR MULCHED IN ACCORDANCE WITH THE SPECIFICATIONS. NO DENUDED ON-SITE AREAS ARE ACCEPTABLE.
 - TREE STAKING AND GUYING SHALL BE REMOVED AFTER ONE FULL GROWING SEASON. SEE TREE PROTECTION FENCE DETAIL AND NOTES FOR ADDITIONAL INFORMATION.
 - ALL PLANTS AND TURF GRASS SOD SHALL BE WARRANTED DURING INSTALLATION AND THROUGHOUT THE REQUIRED MAINTENANCE PERIOD UNTIL FINAL ACCEPTANCE BY THE LANDSCAPE ARCHITECT. SPECIFIC REQUIREMENTS TO BE AS INDICATED IN THE TECHNICAL SPECIFICATIONS.
 - LANDSCAPE RESTRICTIONS WITHIN DUKE ENERGY EASEMENT:
 - NO TREES IN EXCESS OF 12 MATURE HEIGHT ARE PERMITTED IN EASEMENT WHERE OVERHEAD POWER LINES ARE PRESENT. SEE PLAN FOR LOCATION OF THIS CONDITION. VEGETATION THAT IS NOT IN COMPLIANCE IS SUBJECT TO REMOVAL WITHOUT NOTICE.
 - NO VEGETATION SHALL INTERFERE WITH THE ACCESS TO OR THE SAFE, RELIABLE OPERATION AND MAINTENANCE OF DUKE FACILITIES.
 - WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN 2 FEET AND 8 FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR PART. OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY BERM, FOLIAGE, FENCE, WALL, SIGN, OR PARKED VEHICLE. SHRUBS SHALL BE MAINTAINED AT 30" IN HEIGHT AND TREES SHALL BE LIMBED TO A HEIGHT OF 8' AS THEY MATURE WHILE ENSURING THEIR NATURAL SHAPE IS KEPT.

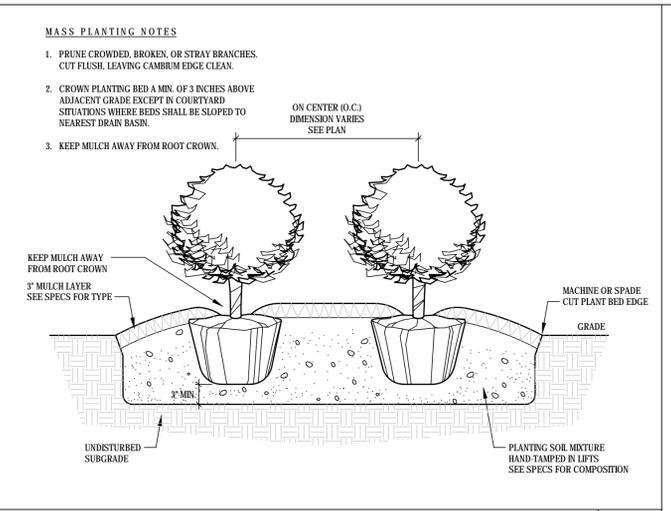
- LANDSCAPE MAINTENANCE STATEMENT:**
- THE OWNERS OF THE PROPERTY AND THEIR AGENTS, HEIRS, OR ASSIGNS SHALL BE RESPONSIBLE FOR THE INSTALLATION, PRESERVATION AND MAINTENANCE OF ALL PLANTING AND PHYSICAL FEATURES SHOWN ON THIS PLAN. THE OWNERS SHALL BE RESPONSIBLE FOR ANNUAL MAINTENANCE OF THE VEGETATION TO INCLUDE BUT NOT BE LIMITED TO:
- FERTILIZATION (OPTIONAL): FERTILIZE LAWNS TWICE PER YEAR (PER 15 MARCH 15 AND AGAIN SEPT. 1 OCT. 31) ACCORDING TO SOIL TEST. FERTILIZE WARM SEASON GRASSES ONCE DURING GROWING SEASON PER SOIL TEST.
 - PRUNING WITHIN LIMITS OF NEW PLANTING AREAS SHALL BE LIMITED TO THE REMOVAL OF DEAD WOOD OR BRANCHES FOR TREES OR FOR SEVERE DISTANCES SAFETY REASONS. THE ANSI A300 STANDARDS SHOULD BE FOLLOWED. THE PRUNING OF SHRUBS SHALL BE LIMITED TO THAT WHICH IS NECESSARY TO MAINTAIN THE NATURAL SHAPE OF THE PLANT EXCEPT FOR SHEARED HEDGES.
 - STREET TREES SHALL HAVE THEIR LIMBS PRUNED OVER SIDEWALKS TO APPROXIMATELY 7 FEET ABOVE GRADE WHEN REASONABLY MATURE.
 - SIGHT TRIANGLES SHALL BE KEPT CLEAR AT ALL TIMES. NO OBSTRUCTION BETWEEN 2 FEET AND 7 FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR PART. OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY BERM, FOLIAGE, FENCE, WALL, SIGN, OR PARKED VEHICLE.
 - PEST CONTROL (OPTIONAL): PRE-EMERGENT WEED CONTROL FOR LAWNS AND SHRUB BEDS MAY BE APPLIED IN FEBRUARY. CHEMICAL TREATMENT FOR INSECT INFESTATION AND DISEASE MAY BE APPLIED AND SHALL BE SPECIFIC TO THE PROBLEM.
 - FINE TEXTURED ORGANIC MULCH SHALL BE MAINTAINED AT A DEPTH OF 2-3" IN PLANT BEDS. MULCH WILL BE REAPPLIED EVERY TWO YEARS MINIMUM.
 - SLOPE STABILIZATION: ALL DISTURBED AREAS SHALL BE STABILIZED FROM SOIL EROSION IMMEDIATELY UPON PLANTING AND SHALL BE PERMANENTLY MAINTAINED. SLOPES GREATER THAN THREE TO ONE SHALL NOT BE STABILIZED WITH TURF GRASS AND SHALL REQUIRE THE PLANTING OF GROUNDCOVER TO STABILIZE ANY DISTURBED SOIL.
 - THE OWNER IS RESPONSIBLE FOR MAINTAINING ALL REQUIRED PLANT MATERIAL IN GOOD HEALTH FOR THE DURATION OF THE USE OF THE PROPERTY. ANY DEAD, UNHEALTHY OR MISSING PLANTS MUST BE REPLACED WITH LOCALLY ADAPTED VEGETATION, WHICH CONFORMS TO THE INITIAL PLANTING STANDARDS OF THIS UDO AND THE TOWN OF GARDNER PLANTING MANUAL CONTAINED IN APPENDIX E.
 - CARE SHALL BE TAKEN TO PROTECT THE ROOT ZONES FROM EXCESSIVE DISTURBANCE FROM EQUIPMENT, CONSTRUCTION AND RELATED MATERIALS, ETC.

TREES LOCATED IN THE PUBLIC RIGHT OF WAY SHALL BE MAINTAINED BY THE PROPERTY OWNER. OWNER SHALL PROVIDE LETTER OF RESPONSIBILITY TO TOWN OF CHAPEL HILL PRIOR TO FIRST CERTIFICATE OF OCCUPANCY.

- MATERIAL REQUIREMENTS:**
- SOIL MIX NOTES:**
- ALL TOPSOIL MIXES USED FOR FINISH GRADING AND PLANTER APPLICATIONS SHOULD BE THE SITE'S ORIGINAL TOPSOIL AND SHOULD BE TESTED BY N.C. DEPARTMENT OF AGRICULTURE TO DETERMINE THEIR SUITABILITY FOR LANDSCAPE USE.
 - ALL TOPSOIL MIXES SHOULD CONTAIN A MINIMUM 2% ORGANIC MATTER. RANGE IN pH FROM 5.0 - 6.5 AND BE FREE OF HERBICIDE AND PESTICIDE RESIDUES PRIOR TO THE ADDITION OF AMENDMENTS.
 - ALL TOPSOIL MIXES SHOULD BE AMENDED AS RECOMMENDED BY SOIL TEST RESULTS, AND BE LOOSE AND FRABLE AT THE TIME OF PLANTING.
 - SOIL DUG FROM THE PLANTING PIT SHOULD BE USED FOR BACKFILLING IN ORDER TO AVOID CREATING SOIL INTERFACES AT THE EDGE OF THE PLANTING PIT. THE BACKFILL MAY BE AMENDED TO CONTAIN A MAXIMUM OF 10% ADDED ORGANIC MATTER. THE BACKFILL SHOULD BE LOOSE AND FRABLE AT THE TIME OF PLANTING.
- MULCH:**
- MULCH SHOULD CONSIST OF FINE BARK, LEAF MOLD OR WELL AGED WOOD CHIPS OR A COMBINATION OF THESE THREE COMPONENTS. ON SLOPED SITES WHERE PINE BARK MY FLAAT, WELL AGED WOOD CHIPS SHOULD BE USED.
- SOIL PREPARATION:**
- EXISTING COMPACTED TOPSOILS THAT ARE TO RECEIVE PLANTS OR SEED AND SUBSOILS THAT ARE 18" DEEP OR MORE SHALL BE LOOSEND AND ROUGHENED TO FACILITATE THE MOVEMENT OF ROOTS INTO THE SURROUNDING SOIL.
 - ALL AREAS THAT ARE TO BE PLANTED WITH TURF, SHRUBS OR TREES SHOULD RECEIVE A MINIMUM OF 2" OF FINE TEXTURED ORGANIC MULCH.
 - WITHIN THE CRITICAL ROOT ZONES OF BARE AND SPECIMEN TREES, NO REMAINING SOIL SHOULD BE REMOVED FROM THE PLANTING PIT. THE SOIL SHOULD BE LOOSEND AND ROUGHENED TO FACILITATE THE MOVEMENT OF ROOTS INTO THE SURROUNDING SOIL.
- PLANTING REQUIREMENTS:**
- TREES AND SHRUBS SHOULD BE PLANTED PRIOR TO MAY 15 AND AFTER SEPTEMBER 15. DELAYED PLANTINGS OF REQUIRED BUFFERS AND/OR OTHER LANDSCAPING CAN BE ACCOMMODATED WITH THE ACCEPTANCE OF A LETTER OF CREDIT SUBMITTED TO AND APPROVED BY THE TOWN PLANNING DEPARTMENT.
 - DIGGING AND PLANTING OPERATIONS SHOULD BE PERFORMED ONLY WHEN THE SOIL TEMPERATURE AT EACH PLANTING AREA AND OF ALL BACKFILL MATERIALS IS ABOVE 32 DEGREES F.
 - FOLLOWING A PERIOD OF PRECIPITATION, PLANTING OPERATIONS SHOULD RESUME ONLY WHEN THE FULL DEPTH OF THE PLANTING PITS HAS SATISFACTORILY DRAINED.
 - SHADE AND WATER SHOULD BE PROVIDED TO ALL DELIVERED MATERIAL DURING DRY WEATHER AND B&B MATERIALS SHOULD BE MULCHED IF THEY ARE TO REMAIN UNPLANTED FOR OVER 24 HOURS.
 - ALL PLANTING PITS SHOULD BE EXCAVATED TO A DEPTH EQUAL TO OR SLIGHTLY LESS THAN THE HEIGHT OF THE PLANTING BALL. THE SIDES OF THE PLANTING PITS SHOULD BE LOOSENED AND ROUGHENED TO FACILITATE THE MOVEMENT OF ROOTS INTO THE SURROUNDING SOIL.
 - THE TOP OF THE PLANT ROOT BALL SHOULD BE SET SO THAT IT WILL BE LEVEL WITH THE FINISHED GRADE TO ALLOW FOR SETTLEMENT. ALL PLANT MATERIAL GREATER THAN 3 FEET IN HEIGHT SHOULD BE SET PLUMB REGARDLESS OF THE SLOPE OF FINISHED GRADE. PLANTS SMALLER THAN 3 FEET IN HEIGHT MAY BE SET PERPENDICULAR TO FINISHED GRADE ON SLOPING SITES.
 - FOR CONTAINER-GROWN PLANTS, CAREFULLY REMOVE THE CONTAINER AND CUT ANY CONTAINER-BOUND CIRCLING ROOTS. FOR BALLED-AND-BURLAPPED PLANTS, CUT BURLAP AWAY FROM THE TOP OF THE ROOT BALL FOR PLANTS IN WIRE BASKETS. SET PLANT IN PLANTING PIT; THEN CUT AND REMOVE WIRE THAT WILL REMAIN EXPOSED AFTER BACKFILLING ALONG WITH THE BURLAP FROM THE TOP OF THE ROOT BALL.
 - PLACE AND TAMP BACKFILL AROUND ROOT BALL IN 6-TO 8-INCH LAYERS UP TO THE LEVEL OF THE FINISHED GRADE. AVOID BRUISING OR BREAKING ROOTS WHEN TAMPING THE SOIL. REMOVE ALL PROTECTIVE WRAPPING FROM TRUNKS AND BRANCHES AND THOROUGHLY SETTLE PLANTINGS WITH WATER. PLACE A MINIMUM OF 3 INCHES OF MULCH OVER PLANT BALL AND PIT AREA, TAKING CARE TO KEEP MATERIAL A MINIMUM OF 2 INCHES FROM THE TRUNK OF TREE.

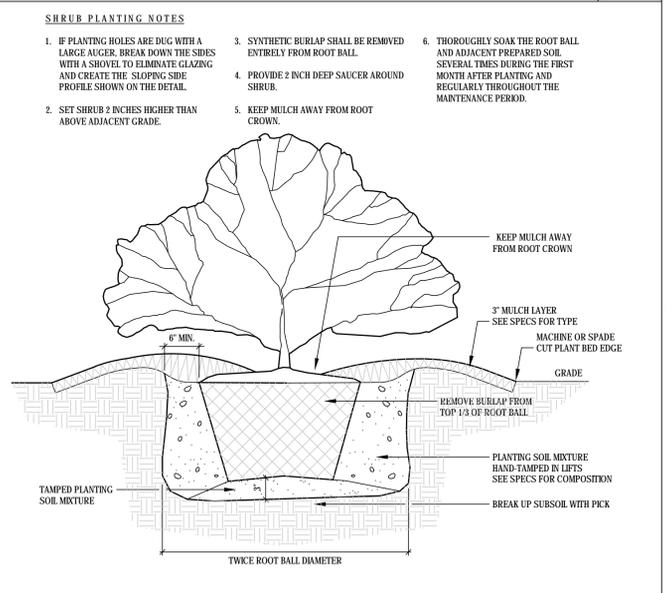
SEE LP.1 FOR CODE COMPLIANT LANDSCAPE PLAN AND PLANT LIST.
SEE LP.1 FOR TOWN OF CHAPEL HILL LANDSCAPE CALCULATIONS.
SEE CS1001 FOR SITE PLAN.
SEE LP.2.1 FOR TREE PROTECTION PLAN.

NOTE:
CONTRACTOR SHALL INSTALL UNCONTAMINATED SOILS AND MULCH IN ALL LAWN, BED AND GRASSPAVEZ AREAS, THROUGHOUT THE SITE, TO A DEPTH OF 12" BELOW THE FINISHED GRADE. SEE THE APPROVED PROJECT ENVIRONMENTAL MANAGEMENT PLAN FOR COMPLETE INFORMATION AND DIRECTIONS. CONSULT WITH THE ENVIRONMENTAL ENGINEER FOR TESTING AND COORDINATION.



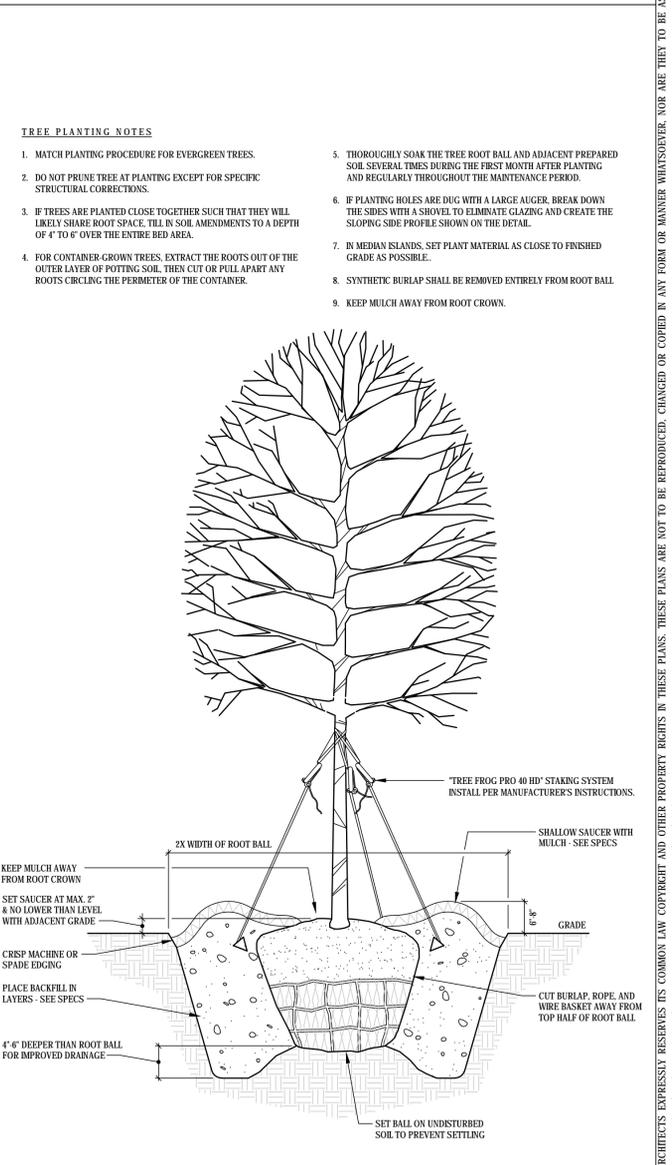
CONTAINER PLANT INSTALLATION
SCALE: NTS

2



B&B SHRUB INSTALLATION
SCALE: NTS

3



TREE INSTALLATION
SCALE: NTS

1

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JDAVIS
610 South Wilmington St., Raleigh, NC 27601 | Tel: 919.835.1500
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LEON
Capital Group

Leon Capital Group
Hillstone Chapel Hill
Town of Chapel Hill, North Carolina 27514

DATE	
PROJECT: 16025	03.03.2016
ISSUE: FDP APPLICATION	12.02.2016
FDP APPLICATION - 2	02.20.2017
FDP APPLICATION - 3	04.10.2017
DD MARKUP REVISIONS	04.24.2017
FDP APPLICATION - 4	06.15.2017
PERMIT SET	06.19.2017
FDP APPLICATION - 5	08.11.2017
GMP SET	08.16.2017
REVISIONS: COORD/CLARIFICATION	10.31.2017
REV. COMMS. COORD.	02.02.2018

DRAWN BY: CK
CHECKED BY: PM
CONTENT: LANDSCAPE DETAILS AND NOTES

LP3.1

FOR REFERENCE ONLY



NO.	ISSUE	DATE
1	SCHEMATIC DESIGN	08.07.17
2	PPS SUBMITTAL	02.20.17
3	DESIGN DEVELOPMENT	02.20.17
4	DECK/FIN PERMIT SET	04.21.17
5	50% CAD SET	05.17.17
6	PERMIT SET	06.19.17

DRAWN BY:	CONTENT:
CHECKED BY:	BUILDING 2
DATE:	BUILDING PLAN - LEVEL 1

GA2.11

- NOTES:**
- SEE "P" SHEETS FOR PRECAST CONCRETE GARAGE DRAWINGS. PARKING AREAS OPEN. SEE CALCULATIONS.
 - ALL PARKING STRIPING WILL BE WHITE. STRIPING MARKING SHALL BE 4" WIDE. STRIPING MARKING SHALL BE 1/2" DEEP. STRIPING MARKING SHALL BE 1/2" DEEP. STRIPING MARKING SHALL BE 1/2" DEEP.
 - WATERBORNE TRAFFIC MARKING PAINT BY SEPRON SHALL BE USED FOR ALL TRAFFIC MARKING. PRECAST CONCRETE DRAWINGS FOR STRIPING SHALL BE USED FOR ALL TRAFFIC MARKING.
 - ALL GUARDRAILS SHALL BE 4" DIA. STEEL PIPE. GUARDRAILS SHALL BE 4" DIA. STEEL PIPE. GUARDRAILS SHALL BE 4" DIA. STEEL PIPE.
 - WHERE LOCATED 2' AND ABOVE. PANELS TO BE FACTORY FINISH (GRAY UNO).
 - PROVIDE PAINT FINISH ON WALLS AND FLOORS OF GARAGE. PROVIDE PAINT FINISH ON WALLS AND FLOORS OF GARAGE.
 - CONCRETE SEALER ON TOP OF DOUBLE-TEE @ GARAGE. CONCRETE SEALER ON TOP OF DOUBLE-TEE @ GARAGE.
 - PLUMBING DRAWINGS FOR FLOOR DRAIN AND PROPER ALIGNMENT OF FLOOR SYSTEMS AND PROPER ALIGNMENT OF FLOOR SYSTEMS AND PROPER ALIGNMENT OF FLOOR SYSTEMS.
 - ADDITIONAL NOTES FOR CONSTRUCTION. ADDITIONAL NOTES FOR CONSTRUCTION.
 - ACCESSIBLE PARKING SPACES AND ASHES ARE NOT TO EXCEED A SLOPE OF 1:48 OR 2% MAX. ACCESSIBLE PARKING SPACES AND ASHES ARE NOT TO EXCEED A SLOPE OF 1:48 OR 2% MAX.
 - WASHES WITH THESE ACCESSIBLE ZONES NOT TO EXCEED 2% SLOPE. WASHES WITH THESE ACCESSIBLE ZONES NOT TO EXCEED 2% SLOPE.
 - MIRRORS AT ALL BLIND CORNERS IN ORDER TO PROVIDE VISIBILITY TO ALL ADJACENT AREAS. MIRRORS AT ALL BLIND CORNERS IN ORDER TO PROVIDE VISIBILITY TO ALL ADJACENT AREAS.
 - RESIDENTIAL FLOOR IN BUILDINGS 1 & 2 FOR RESIDENTS TO ACCESS TRASH CHUTE & RECYCLING BIN. RESIDENTIAL FLOOR IN BUILDINGS 1 & 2 FOR RESIDENTS TO ACCESS TRASH CHUTE & RECYCLING BIN.
 - RECYCLING FROM EACH BUILDING TO THE CENTRAL RECYCLING AND RECYCLING CENTER ADJACENT TO BUILDING FOR COLLECTION.

- KEY NOTES:**
1. 4" DIA. STEEL PIPE, 4" DIA. STEEL PIPE, 4" DIA. STEEL PIPE. 4" DIA. STEEL PIPE, 4" DIA. STEEL PIPE, 4" DIA. STEEL PIPE.
 2. CABLE GUARDRAIL WITH POST ATTACHED TO TOP OF SUBBEAM. TOP @ MIN. 2" AFF. HORIZONTAL LOAD. SEE DETAIL 4A13.91. CABLE GUARDRAIL WITH POST ATTACHED TO TOP OF SUBBEAM. TOP @ MIN. 2" AFF. HORIZONTAL LOAD. SEE DETAIL 4A13.91.
 3. CABLE GUARDRAIL WITH STANDING POSTS MOUNTED TO SIDE OF DOUBLE-TEE @ 60" MAX. SPACING. SEE DETAIL 4A13.91. CABLE GUARDRAIL WITH STANDING POSTS MOUNTED TO SIDE OF DOUBLE-TEE @ 60" MAX. SPACING. SEE DETAIL 4A13.91.
 4. HANDICAP ACCESSIBLE PARKING SPACE. TYPICAL STORAGE REQUIRED. SEE DETAIL 4A13.91. HANDICAP ACCESSIBLE PARKING SPACE. TYPICAL STORAGE REQUIRED. SEE DETAIL 4A13.91.
 5. WASH SLOPED TOWARDS FLOOR DRAIN. SEE PUMPING DRAWINGS FOR DETAILS. WASH SLOPED TOWARDS FLOOR DRAIN. SEE PUMPING DRAWINGS FOR DETAILS.
 6. 4" DIA. STEEL BOLLARD. RE DETAIL 9 & 15A13.91. 4" DIA. STEEL BOLLARD. RE DETAIL 9 & 15A13.91.
 7. PRECAST CONCRETE WELESTOP. SEE DETAIL 4A13.91. PRECAST CONCRETE WELESTOP. SEE DETAIL 4A13.91.
 8. HEADACHE BARS ABOVE. HEADACHE BARS ABOVE.
 9. VEHICLE GATE WITH CARD READER. VEHICLE GATE WITH CARD READER.
 10. VEHICLE DETECTION LOOP. VEHICLE DETECTION LOOP.
 11. BIKE RACK. BIKE RACK.
 12. C.I.P. CONCRETE RETAINING WALL BELOW. RE: STRUCTURAL DRAWINGS. C.I.P. CONCRETE RETAINING WALL BELOW. RE: STRUCTURAL DRAWINGS.
 13. ACCESS CONTROL ON DOOR. ACCESS CONTROL ON DOOR.
 14. CAMPY ABOVE. CAMPY ABOVE.
 15. LIGHTPOLE LOCATION. LIGHTPOLE LOCATION.
 16. 1/2" WALL GATE SHALL BE USED AS LONG PREDICTED PARKING DECK INTERIOR WALL TO PROHIBIT ACCESS TO RESIDENTIAL BUILDING. 1/2" WALL GATE SHALL BE USED AS LONG PREDICTED PARKING DECK INTERIOR WALL TO PROHIBIT ACCESS TO RESIDENTIAL BUILDING.
 17. PROPOSED RESIDENTIAL BUILDING GAS METER LOCATION. APPROPRIATE FINAL LOCATION IN FIELD TO BE DETERMINED. PROPOSED RESIDENTIAL BUILDING GAS METER LOCATION. APPROPRIATE FINAL LOCATION IN FIELD TO BE DETERMINED.

RATED WALL LEGEND:

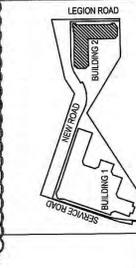
1	1-HR RATED BEARING WALL (PER UL 1013)
2	2-HR RATED BEARING WALL (PER UL 1013)
3	3-HR RATED BEARING WALL (PER UL 1013)
4	4-HR RATED BEARING WALL (PER UL 1013)
5	5-HR RATED BEARING WALL (PER UL 1013)
6	6-HR RATED BEARING WALL (PER UL 1013)
7	7-HR RATED BEARING WALL (PER UL 1013)
8	8-HR RATED BEARING WALL (PER UL 1013)
9	9-HR RATED BEARING WALL (PER UL 1013)
10	10-HR RATED BEARING WALL (PER UL 1013)
11	11-HR RATED BEARING WALL (PER UL 1013)
12	12-HR RATED BEARING WALL (PER UL 1013)
13	13-HR RATED BEARING WALL (PER UL 1013)
14	14-HR RATED BEARING WALL (PER UL 1013)
15	15-HR RATED BEARING WALL (PER UL 1013)
16	16-HR RATED BEARING WALL (PER UL 1013)
17	17-HR RATED BEARING WALL (PER UL 1013)
18	18-HR RATED BEARING WALL (PER UL 1013)
19	19-HR RATED BEARING WALL (PER UL 1013)
20	20-HR RATED BEARING WALL (PER UL 1013)
21	21-HR RATED BEARING WALL (PER UL 1013)
22	22-HR RATED BEARING WALL (PER UL 1013)
23	23-HR RATED BEARING WALL (PER UL 1013)
24	24-HR RATED BEARING WALL (PER UL 1013)
25	25-HR RATED BEARING WALL (PER UL 1013)
26	26-HR RATED BEARING WALL (PER UL 1013)
27	27-HR RATED BEARING WALL (PER UL 1013)
28	28-HR RATED BEARING WALL (PER UL 1013)
29	29-HR RATED BEARING WALL (PER UL 1013)
30	30-HR RATED BEARING WALL (PER UL 1013)
31	31-HR RATED BEARING WALL (PER UL 1013)
32	32-HR RATED BEARING WALL (PER UL 1013)
33	33-HR RATED BEARING WALL (PER UL 1013)
34	34-HR RATED BEARING WALL (PER UL 1013)
35	35-HR RATED BEARING WALL (PER UL 1013)
36	36-HR RATED BEARING WALL (PER UL 1013)
37	37-HR RATED BEARING WALL (PER UL 1013)
38	38-HR RATED BEARING WALL (PER UL 1013)
39	39-HR RATED BEARING WALL (PER UL 1013)
40	40-HR RATED BEARING WALL (PER UL 1013)
41	41-HR RATED BEARING WALL (PER UL 1013)
42	42-HR RATED BEARING WALL (PER UL 1013)
43	43-HR RATED BEARING WALL (PER UL 1013)
44	44-HR RATED BEARING WALL (PER UL 1013)
45	45-HR RATED BEARING WALL (PER UL 1013)
46	46-HR RATED BEARING WALL (PER UL 1013)
47	47-HR RATED BEARING WALL (PER UL 1013)
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51	51-HR RATED BEARING WALL (PER UL 1013)
52	52-HR RATED BEARING WALL (PER UL 1013)
53	53-HR RATED BEARING WALL (PER UL 1013)
54	54-HR RATED BEARING WALL (PER UL 1013)
55	55-HR RATED BEARING WALL (PER UL 1013)
56	56-HR RATED BEARING WALL (PER UL 1013)
57	57-HR RATED BEARING WALL (PER UL 1013)
58	58-HR RATED BEARING WALL (PER UL 1013)
59	59-HR RATED BEARING WALL (PER UL 1013)
60	60-HR RATED BEARING WALL (PER UL 1013)

PARKING SPACE COUNT

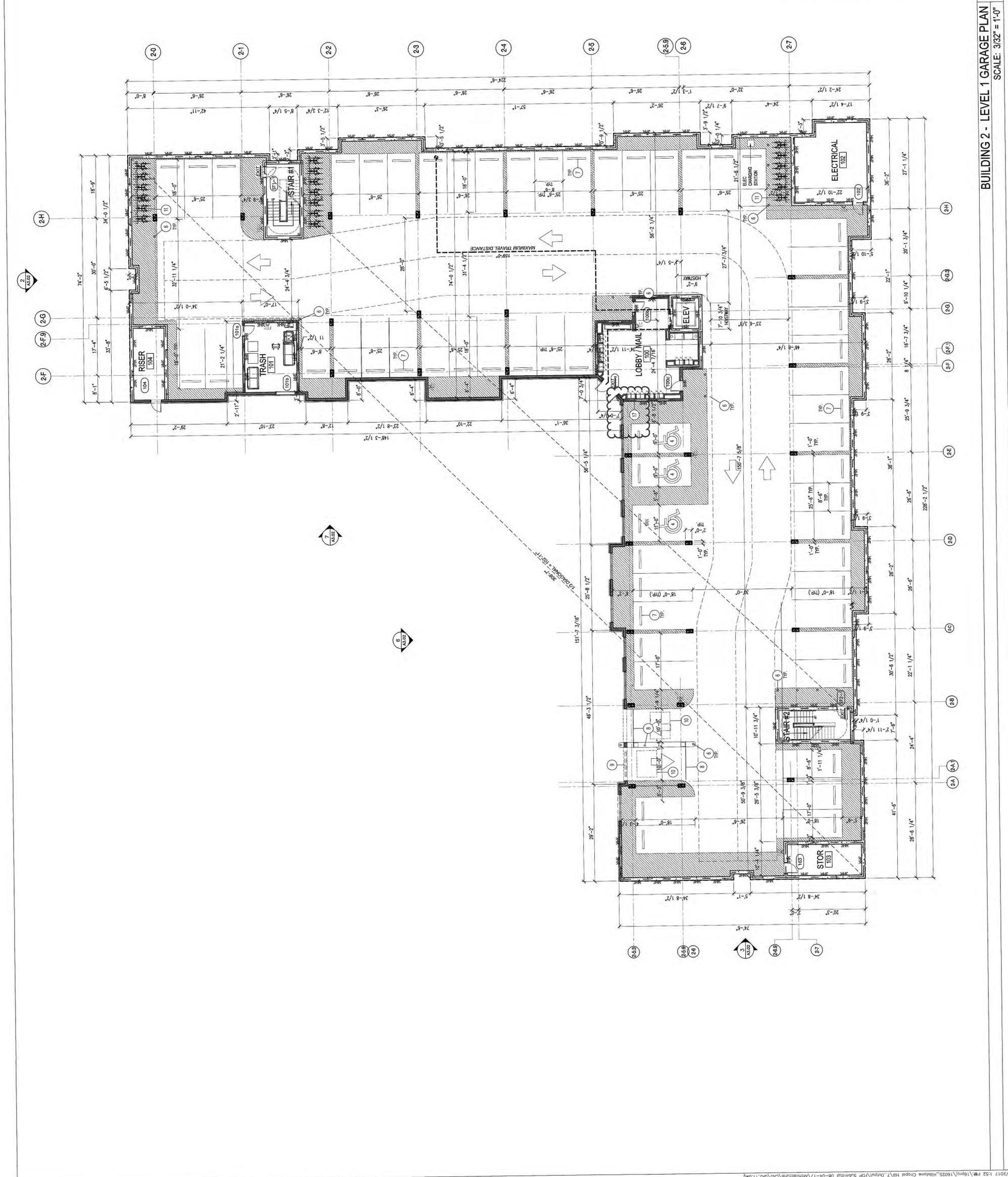
LEVEL	INCLUDES 2 ACCESSIBLE SPACES & 1 VAN ACCESSIBLE SPACE (TOTAL)
LEVEL 1	60
LEVEL 2	60
LEVEL 3	60
LEVEL 4	60
LEVEL 5	60
LEVEL 6	60
LEVEL 7	60
LEVEL 8	60
LEVEL 9	60
LEVEL 10	60
LEVEL 11	60
LEVEL 12	60
LEVEL 13	60
LEVEL 14	60
LEVEL 15	60
LEVEL 16	60
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LEVEL 89	60
LEVEL 90	60
LEVEL 91	60
LEVEL 92	60
LEVEL 93	60
LEVEL 94	60
LEVEL 95	60
LEVEL 96	60
LEVEL 97	60
LEVEL 98	60
LEVEL 99	60
LEVEL 100	60

LONG-TERM BICYCLE PARKING

LEVEL	LONG-TERM BICYCLE PARKING SPACES
LEVEL 1	36
LEVEL 2	36
LEVEL 3	36
LEVEL 4	36
LEVEL 5	36
LEVEL 6	36
LEVEL 7	36
LEVEL 8	36
LEVEL 9	36
LEVEL 10	36
LEVEL 11	36
LEVEL 12	36
LEVEL 13	36
LEVEL 14	36
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LEVEL 70	36
LEVEL 71	36
LEVEL 72	36
LEVEL 73	36
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LEVEL 75	36
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LEVEL 87	36
LEVEL 88	36
LEVEL 89	36
LEVEL 90	36
LEVEL 91	36
LEVEL 92	36
LEVEL 93	36
LEVEL 94	36
LEVEL 95	36
LEVEL 96	36
LEVEL 97	36
LEVEL 98	36
LEVEL 99	36
LEVEL 100	36



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BUILDING 2 - LEVEL 1 GARAGE PLAN
 SCALE: 3/32" = 1'-0"

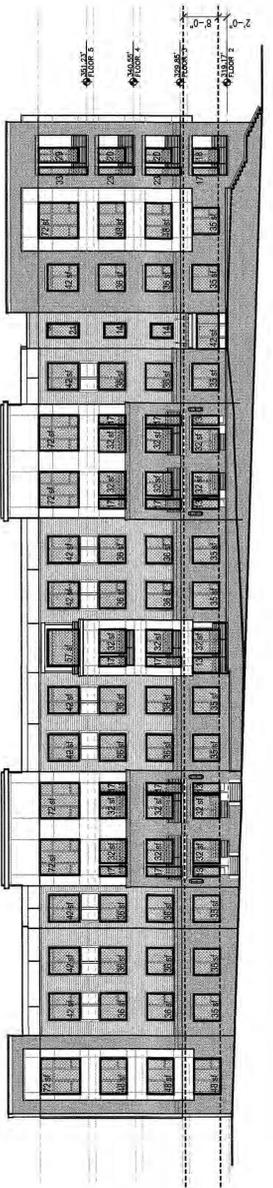


PROJECT:	19025	DATE:	
ISSUE:	SCHEMATIC DESIGN	08.07.17	
	PDPA SUBMITTAL	02.20.17	
	DESIGN DEVELOPMENT	02.20.17	
	DECK/FINISH SET	04.21.17	
REVISIONS:	50% CD SET	05.17.17	
	PERMIT SET		
CONTENT:			
BUILDING 1 & 2 ELEVATIONS			
TRANSPARENCY CALCULATIONS			

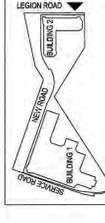
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EXTERIOR FINISH CALCULATIONS

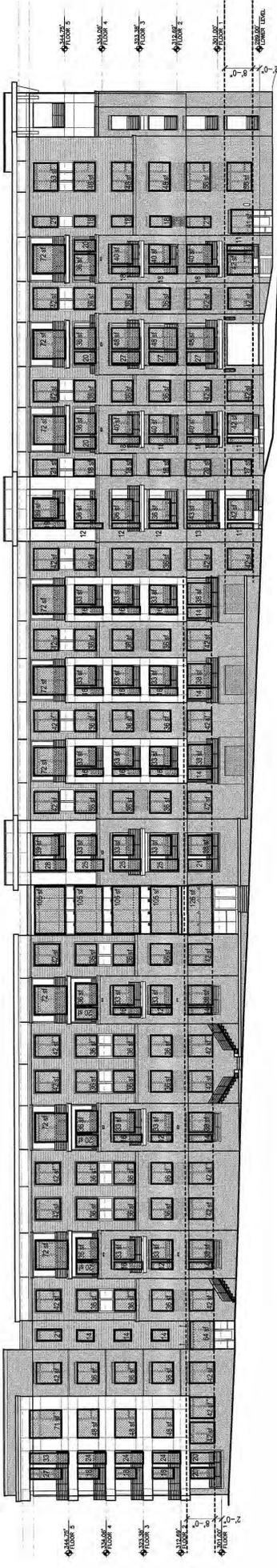
BUILDING 2 ELEVATION - New Road	REQUIRED SF	DESIGNED SF	DESIGNED %
GLAZING Ground Level: 2 to 10' Total Area: 180	180	180	100%
GLAZING Upper Floor: 2 to 10' Total Area: 2,338	2,338	2,338	100%
GLAZING Lower Floor: 2 to 10' Total Area: 7,348	7,348	7,348	100%
BUILDING 2 ELEVATION - Legion Road			
GLAZING Ground Level: 2 to 10' Total Area: 417	417	417	100%
GLAZING Upper Floor: 2 to 10' Total Area: 2,201	2,201	2,201	100%
GLAZING Lower Floor: 2 to 10' Total Area: 2,408	2,408	2,408	100%
BUILDING 1 ELEVATION - Service Road			
GLAZING Ground Level: 2 to 10' Total Area: 1,447	1,447	1,447	100%
GLAZING Upper Floor: 2 to 10' Total Area: 3,094	3,094	3,094	100%
GLAZING Lower Floor: 2 to 10' Total Area: 6,301	6,301	6,301	100%
BUILDING 1 ELEVATION - New Road			
GLAZING Ground Level: 2 to 10' Total Area: 1,140	1,140	1,140	100%
GLAZING Upper Floor: 2 to 10' Total Area: 2,567	2,567	2,567	100%
GLAZING Lower Floor: 2 to 10' Total Area: 4,579	4,579	4,579	100%



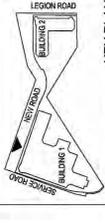
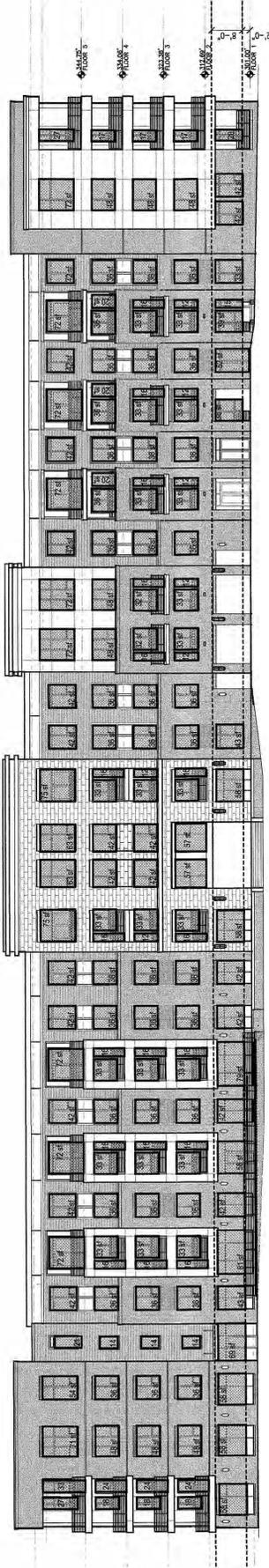
KEY PLAN
4
 EXTERIOR ELEVATION - BUILDING 2 (New Road)
 SCALE: 1/16" = 1'-0"



KEY PLAN
3
 EXTERIOR ELEVATION - BUILDING 2 (Legion Road)
 SCALE: 1/16" = 1'-0"



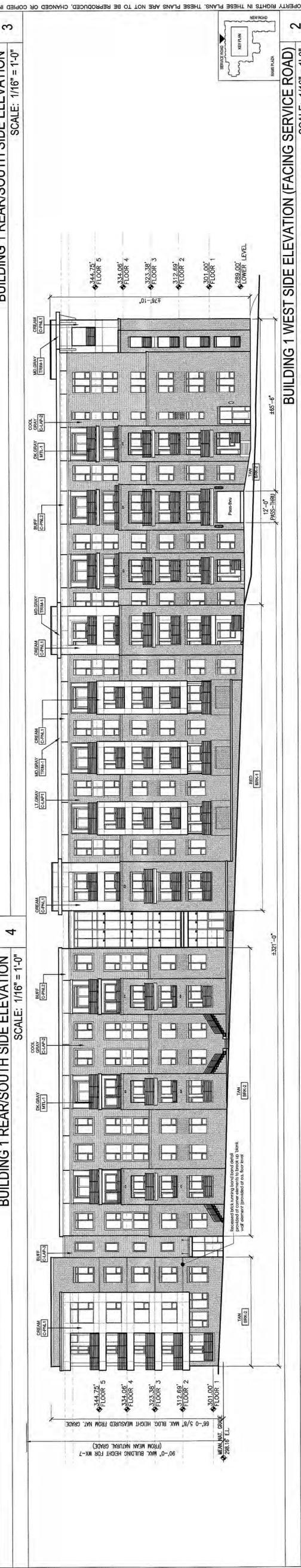
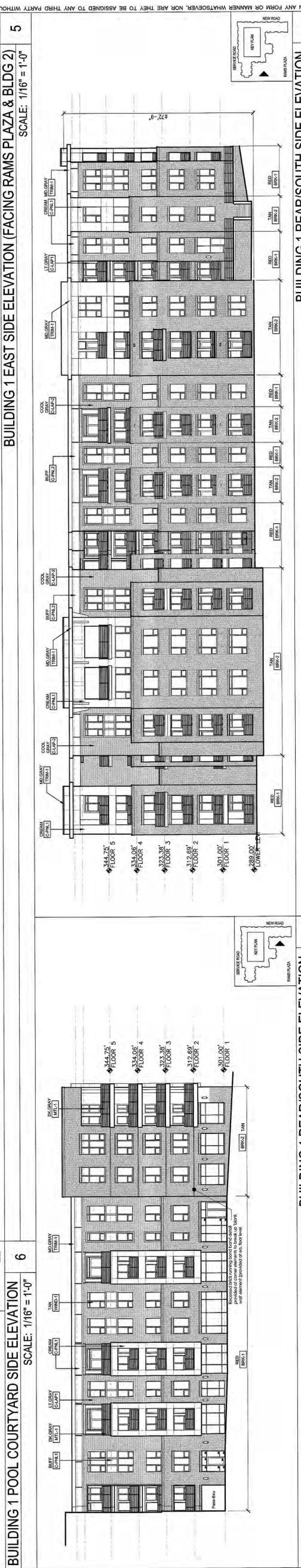
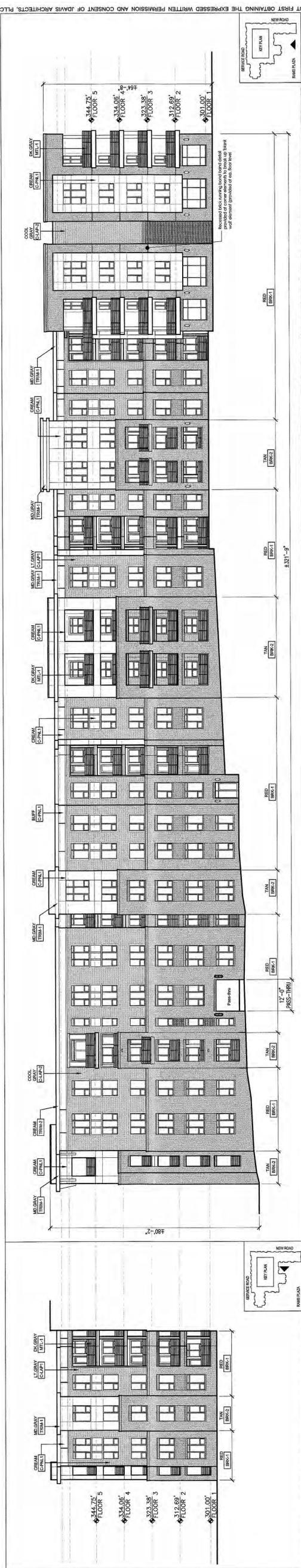
KEY PLAN
2
 EXTERIOR ELEVATION - BUILDING 1 (Service Road)
 SCALE: 1/16" = 1'-0"



KEY PLAN
1
 EXTERIOR ELEVATION - BUILDING 1 (New Road)
 SCALE: 1/16" = 1'-0"



PROJECT:	ISSUE:	DATE:
HBS2	SCHEMATIC DESIGN	08.07.17
	PPS SUBMITTAL	02.28.17
	DESIGN DEVELOPMENT	04.21.17
	DECK/FINISH SET	05.17.17
	50% CD SET	05.17.17
	PERMIT SET	
	REVISIONS:	



BUILDING 1 POOL COURTYARD SIDE ELEVATION
SCALE: 1/16" = 1'-0"

ACCENT MATERIAL CALCULATION	OVERALL ELEVATION AREA: 3,462
ACCENT MATERIAL AREA: 684	ACCENT MATERIAL AREA: 18.9%
Percentage Provided: 25.0%	Max. Percentage Allowed: 25.0%

344.75' FLOOR 5
 334.06' FLOOR 4
 323.38' FLOOR 3
 312.69' FLOOR 2
 301.00' FLOOR 1

BUILDING 1 EAST SIDE ELEVATION (FACING RAMS PLAZA & BLDG 2)
SCALE: 1/16" = 1'-0"

ACCENT MATERIAL CALCULATION	OVERALL ELEVATION AREA: 28,708
ACCENT MATERIAL AREA: 4,726	ACCENT MATERIAL AREA: 16.5%
Percentage Provided: 25.0%	Max. Percentage Allowed: 25.0%

344.75' FLOOR 5
 334.06' FLOOR 4
 323.38' FLOOR 3
 312.69' FLOOR 2
 301.00' FLOOR 1

BUILDING 1 REAR/SOUTH SIDE ELEVATION
SCALE: 1/16" = 1'-0"

ACCENT MATERIAL CALCULATION	OVERALL ELEVATION AREA: 9,705
ACCENT MATERIAL AREA: 1,588	ACCENT MATERIAL AREA: 16.3%
Percentage Provided: 25.0%	Max. Percentage Allowed: 25.0%

344.75' FLOOR 5
 334.06' FLOOR 4
 323.38' FLOOR 3
 312.69' FLOOR 2
 301.00' FLOOR 1

BUILDING 1 REAR/SOUTH SIDE ELEVATION
SCALE: 1/16" = 1'-0"

ACCENT MATERIAL CALCULATION	OVERALL ELEVATION AREA: 18,816
ACCENT MATERIAL AREA: 2,850	ACCENT MATERIAL AREA: 15.1%
Percentage Provided: 25.0%	Max. Percentage Allowed: 25.0%

344.75' FLOOR 5
 334.06' FLOOR 4
 323.38' FLOOR 3
 312.69' FLOOR 2
 301.00' FLOOR 1

BUILDING 1 REAR/SOUTH SIDE ELEVATION
SCALE: 1/16" = 1'-0"

ACCENT MATERIAL CALCULATION	OVERALL ELEVATION AREA: 1,588
ACCENT MATERIAL AREA: 1,588	ACCENT MATERIAL AREA: 100.0%
Percentage Provided: 25.0%	Max. Percentage Allowed: 25.0%

288' LOA
 278' FLOOR 5
 268' FLOOR 4
 258' FLOOR 3
 248' FLOOR 2

BUILDING 1 WEST SIDE ELEVATION (FACING SERVICE ROAD)
SCALE: 1/16" = 1'-0"

ACCENT MATERIAL CALCULATION	OVERALL ELEVATION AREA: 26,448
ACCENT MATERIAL AREA: 4,471	ACCENT MATERIAL AREA: 16.9%
Percentage Provided: 25.0%	Max. Percentage Allowed: 25.0%

288' LOA
 278' FLOOR 5
 268' FLOOR 4
 258' FLOOR 3
 248' FLOOR 2

BUILDING 1 FRONT/NORTH ELEVATION (FACING NEW ROAD)
SCALE: 1/16" = 1'-0"

ACCENT MATERIAL CALCULATION	OVERALL ELEVATION AREA: 23,111
ACCENT MATERIAL AREA: 3,616	ACCENT MATERIAL AREA: 15.6%
Percentage Provided: 25.0%	Max. Percentage Allowed: 25.0%



PROJECT:	1803	DATE:	
ISSUE:	SCHEMATIC DESIGN	DATE:	08.07.17
	POP SUBMITTAL	DATE:	02.20.17
	DESIGN DEVELOPMENT	DATE:	04.21.17
	DECK-FIN PERMIT SET	DATE:	05.17.17
	50% CD SET	DATE:	05.17.17
	PERMIT SET	DATE:	

CONTENT: BUILDING ELEVATIONS
ACCENT MATERIAL CALCULATIONS

FOR REFERENCE ONLY

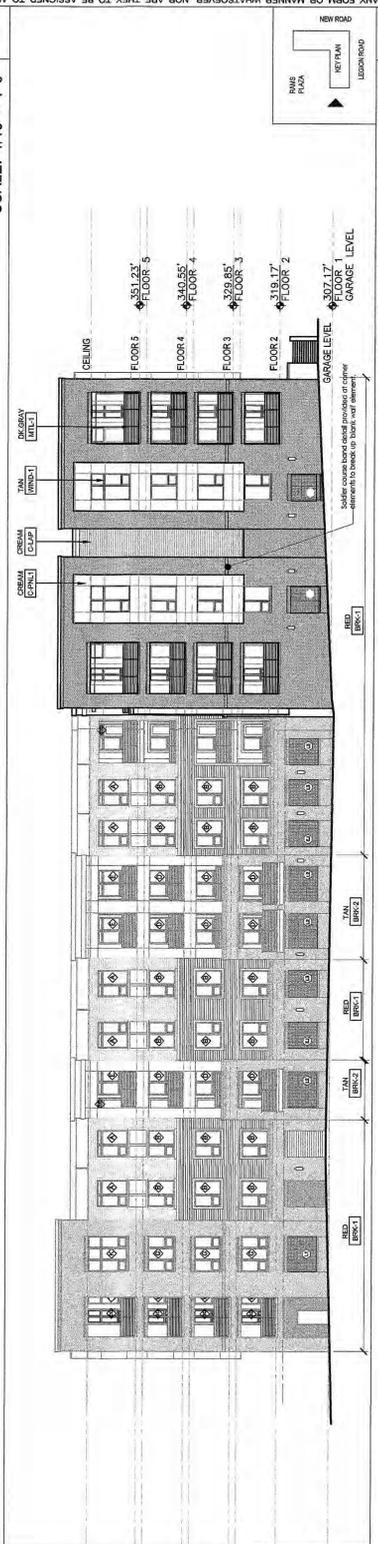


DATE	ISSUE
08/27/17	SCHEMATIC DESIGN
08/28/17	PERMITS SUBMITTAL
08/28/17	DESIGN DEVELOPMENT
04/24/17	PERMITS PERMIT SET
08/17/17	50% CD SET
08/17/17	PERMIT SET



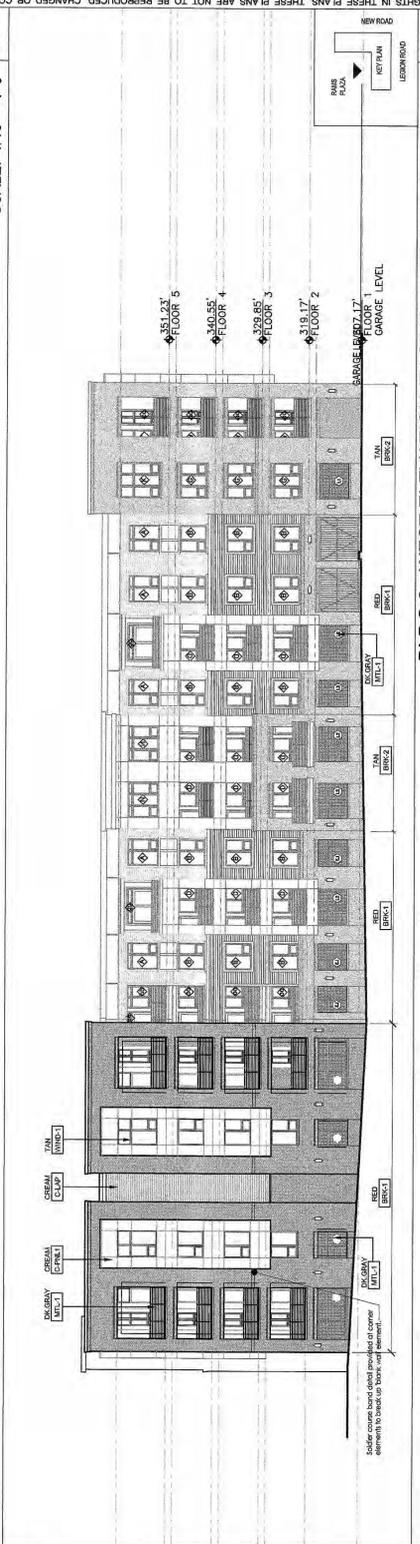
BLDG 2 - EAST ELEVATION (FACING LEGION ROAD)
SCALE: 1/16" = 1'-0"

NOT USED
SCALE: 1/16" = 1'-0"



BLDG 2 - REAR/SOUTH ELEVATION
SCALE: 1/16" = 1'-0"

BLDG 2 - REAR/SOUTH ELEVATION COURTYARD
SCALE: 1/16" = 1'-0"



BLDG 2 - WEST ELEVATION (FACING RAMS PLAZA & BLDG 1)
SCALE: 1/16" = 1'-0"

BLDG 2 - WEST ELEVATION COURTYARD (FACING RAMS PLAZA & BLDG 1)
SCALE: 1/16" = 1'-0"



BLDG 2 - FRONT/NORTH ELEVATION (FACING NEW ROAD)
SCALE: 1/16" = 1'-0"

NOT USED
SCALE: 1/16" = 1'-0"

EXTERIOR FINISH LEGEND:

MF1.1	MICHELLENDAS METAL - DARK GRAY
MF1.2	ORIENTATIONS LAP SIDING - LIGHT GRAY
EC2.1	ORIENTATIONS LAP SIDING - COOL GRAY
EC2.2	ORIENTATIONS LAP SIDING - BUFF
EC2.3	ORIENTATIONS LAP SIDING - DARK GRAY
BR1.1	BRICK VENEER - RED
BR1.2	BRICK VENEER - TAN
EP1.1	ORIENTATIONS PANEL - CREAM
EP1.2	ORIENTATIONS PANEL - BUFF
WR1.1	VERT. CLAD WINDOWS - TAN
WR1.2	ALUMINUM STOREFRONT - TAN
TR1.1	CORNER TRIM - MEDIUM GRAY/BLACK
TR1.2	CORNER TRIM - CREAM

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